

**LAKE POWELL
RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT
DISTRICT**

August 1, 2022

**BOARD OF SUPERVISORS
PUBLIC HEARING AND
REGULAR MEETING
AGENDA**

Lake Powell Residential Golf Community Development District

OFFICE OF THE DISTRICT MANAGER

2300 Glades Road, Suite 410W • Boca Raton, Florida 33431

Phone: (561) 571-0010 • Fax: (561) 571-0013 • Toll-Free: (877) 276-0889

July 25, 2022

ATTENDEES:

Please identify yourself each time you speak to facilitate accurate transcription of meeting minutes.

Board of Supervisors

Lake Powell Residential Golf Community Development District

Dear Board Members:

The Board of Supervisors of the Lake Powell Residential Golf Community Development District will hold a Public Hearing and Regular Meeting on August 1, 2022, at 3:00 P.M., Central Time, at the Boat House, 1110 Prospect Promenade, Panama City Beach, Florida 32413. The agenda is as follows:

1. Call to Order/Roll Call
2. Public Comment
3. Public Hearing on Adoption of Fiscal Year 2022/2023 Budget
 - A. Affidavit of Publication
 - B. Consideration of Resolution 2022-06, Relating to the Annual Appropriations and Adopting the Budget for the Fiscal Year Beginning October 1, 2022, and Ending September 30, 2023; Authorizing Budget Amendments; and Providing an Effective Date
4. Consideration of Resolution 2022-07, Making a Determination of Benefit and Imposing Special Assessments for Fiscal Year 2022/2023; Providing for the Collection and Enforcement of Special Assessments, Including but Not Limited to Penalties and Interest Thereon; Certifying an Assessment Roll; Providing for Amendments to the Assessment Roll; Providing a Severability Clause; and Providing an Effective Date
5. District Counsel – Discussion/Consideration/Update
 - A. Sunshine Law Refresher
 - B. Update: Agreements Sent to POA
 - I. POA Maintenance Agreement
 - Landscape Standards
 - II. POA Agreement for Stormwater Facility Management Services

- III. POA Boat House Lease
 - C. Other
6. District Engineer – Discussion/Consideration/Update
 - A. Ratification of Stormwater Management Needs Analysis
 - B. Review of 2015 Wild Heron Way Operational Speed Analysis
 - C. Update: Covington Bridge Inspection Report – Bridge #460167
 - D. Update: Drainage Improvements on Intersection of Sweetwater Bay Trail and Wild Heron Way
 7. District Ecologist – Discussion/Consideration/Update
 - A. Update: Firewise
 - B. Consideration of Proposals for Conservation Area Sign Replacements
 - C. Update: Pond Aerators
 - D. Status of Areas Allowed to be Managed
 8. Acceptance of Unaudited Financial Statements as of June 30, 2022
 9. Approval of Minutes
 - A. June 6, 2022 Regular Meeting
 - B. June 13, 2022 Continued Regular Meeting
 - C. June 21, 2022 Continued Regular Meeting
 10. Staff Reports
 - A. Ecologist/Operations: *Cypress Environmental of Bay County, LLC*
 - B. District Counsel: *Burke Blue*
 - C. District Engineer: *McNeil Carroll Engineering, Inc.*
 - D. District Manager: *Wrathell, Hunt and Associates, LLC*
 - I. Speeding and Traffic Enforcement
 - II. NEXT MEETING DATE: October 3, 2022 at 3:00 P.M. (Central Time)

○ QUORUM CHECK

David Holt	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
David Dean	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
Thomas Balduf	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
Jerry Robinson	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
Frank Self	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO

11. Board Member Comments

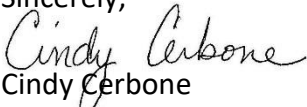
- Coordination with POA
 - A. Road Restriping
 - B. Catch Basin Cleanout

12. Public Comment

13. Action Item Recap

14. Adjournment

Should you have any questions or concerns, please do not hesitate to contact me directly at (561) 346-5294 or Jamie Sanchez (561) 512-9027.

Sincerely,

 Cindy Cerbone
 District Manager

FOR BOARD MEMBERS AND STAFF TO ATTEND BY TELEPHONE
CALL-IN NUMBER: 1-888-354-0094
PARTICIPANT PASSCODE: 801-901-3513

**LAKE POWELL
RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT**

3A

LOCALiQ

The Gainesville Sun | The Ledger
Daily Commercial | Ocala StarBanner
News Chief | Herald-Tribune | News Herald
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PROOF OF PUBLICATION

Lake Powell Residential
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Lake Powell Residential
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The Panama City News Herald, a newspaper printed and published in the city of Panama City, and of general circulation in the County of Bay, State of Florida, and personal knowledge of the facts herein state and that the notice hereto annexed was Published in said newspapers in the issue dated or by publication on the newspaper's website, if authorized, on:

07/14/2022, 07/21/2022

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Sworn to and subscribed before on 07/21/2022

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Notary, State of WI, County of Brown

My commission expires

Publication Cost: \$331.36

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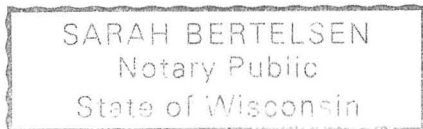
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LAKE POWELL RESIDENTIAL
GOLF COMMUNITY DEVELOP-
MENT DISTRICT

NOTICE OF PUBLIC HEARING
TO CONSIDER THE ADOPTION
OF THE FISCAL YEAR 2022/2023
BUDGET; AND NOTICE OF
REGULAR BOARD OF SUPERVI-
SORS' MEETING.

Notice is hereby given that the Board of Supervisors ("Board") of the Lake Powell Residential Golf Community Development District ("District") will hold a public hearing on August 1, 2022 at 3:00 p.m., Central Time, at the Boat House, 1110 Prospect Promenade, Panama City Beach, Florida 32413 for the purpose of hearing comments and objections on the adoption of the proposed budget ("Proposed Budget") of the District for the fiscal year beginning October 1, 2022 and ending September 30, 2023 ("Fiscal Year 2022/2023"). A regular board meeting of the District will also be held at that time where the Board may consider any other business that may properly come before it. A copy of the agenda and Proposed Budget may be obtained at the offices of the District Manager, Wrathell, Hunf and Associates, LLC, 2300 Glades Road, Suite 410W, Boca Raton, Florida 33431, (561) 571-0010 ("District Manager's Office"), during normal business hours, or by visiting the District's website at <http://www.lakepowellcdd.net/>.

The public hearing and meeting are open to the public and will be conducted in accordance with the provisions of Florida law for community development districts. The public hearing and meeting may be continued to a date, time, and place to be specified on the record at the hearing or meeting. There may be occasions when Board Supervisors or District Staff may participate by speaker telephone.

Any person requiring special accommodations because of a disability or physical impairment should contact the District Manager's office at least 48 hours prior to the meeting. If you are hearing or speech impaired, please contact the Florida Relay Service at 711 or 1-800-955-8771 (TTY), or 1-800-955-8770 (voice) for aid in contacting the District Manager's office.

Each person who decides to appeal any decision made by the Board with respect to any matter considered at the public hearing or meeting is advised that person will need a record of proceedings and that accordingly, the person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which such appeal is to be based.
District Manager
Lake Powell Residential Golf
Community Development District
Pub: July 14 & 21, 2022 / 7522809

**LAKE POWELL
RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT**

3B

RESOLUTION 2022-06

THE ANNUAL APPROPRIATION RESOLUTION OF THE LAKE POWELL RESIDENTIAL GOLF COMMUNITY DEVELOPMENT DISTRICT (“DISTRICT”) RELATING TO THE ANNUAL APPROPRIATIONS AND ADOPTING THE BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2022, AND ENDING SEPTEMBER 30, 2023; AUTHORIZING BUDGET AMENDMENTS; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the District Manager has, prior to the fifteenth (15th) day in June, 2022, submitted to the Board of Supervisors (“**Board**”) of the Lake Powell Residential Golf Community Development District a proposed budget for the fiscal year beginning October 1, 2022 and ending September 30, 2023 (“**Fiscal Year 2022/2023**”) along with an explanatory and complete financial plan for each fund of the District, pursuant to the provisions of Section 190.008(2)(a), *Florida Statutes*; and

WHEREAS, at least sixty (60) days prior to the adoption of the Proposed Budget, the District filed a copy of the Proposed Budget with the local governing authorities having jurisdiction over the area included in the District pursuant to the provisions of Section 190.008(2)(b), *Florida Statutes*; and

WHEREAS, the Board set a public hearing thereon and caused notice of such public hearing to be given by publication pursuant to Section 190.008(2)(a), *Florida Statutes*; and

WHEREAS, the District Manager posted the Proposed Budget on the District’s website at least two days before the public hearing; and

WHEREAS, Section 190.008(2)(a), *Florida Statutes*, requires that, prior to October 1st of each year, the District Board, by passage of the Annual Appropriation Resolution, shall adopt a budget for the ensuing fiscal year and appropriate such sums of money as the Board deems necessary to defray all expenditures of the District during the ensuing fiscal year; and

WHEREAS, the District Manager has prepared a Proposed Budget, whereby the budget shall project the cash receipts and disbursements anticipated during a given time period, including reserves for contingencies for emergency or other unanticipated expenditures during the fiscal year.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE LAKE POWELL RESIDENTIAL GOLF COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. BUDGET

- a. The Board has reviewed the Proposed Budget, a copy of which is on file with the office of the District Manager and at the District’s Local Records Office, and hereby approves certain amendments thereto, as shown in Section 2 below.

- b. The Proposed Budget, attached hereto as **Exhibit "A,"** as amended by the Board, is hereby adopted in accordance with the provisions of Section 190.008(2)(a), Florida Statutes ("**Adopted Budget**"), and incorporated herein by reference; provided, however, that the comparative figures contained in the Adopted Budget may be subsequently revised as deemed necessary by the District Manager to reflect actual revenues and expenditures.
- c. The Adopted Budget, as amended, shall be maintained in the office of the District Manager and at the District's Local Records Office and identified as "The Budget for the Lake Powell Residential Golf Community Development District for the Fiscal Year Ending September 30, 2023".
- d. The Adopted Budget shall be posted by the District Manager on the District's official website within thirty (30) days after adoption, and shall remain on the website for at least 2 years.

SECTION 2. APPROPRIATIONS

There is hereby appropriated out of the revenues of the District, for Fiscal Year 2022/2023, the sum of \$1,147,118 to be raised by the levy of assessments and/or otherwise, which sum is deemed by the Board to be necessary to defray all expenditures of the District during said budget year, to be divided and appropriated in the following fashion:

TOTAL GENERAL FUND	\$ 718,935
TOTAL DEBT SERVICES FUND – SERIES 2012	<u>\$ 428,183</u>
TOTAL ALL FUNDS	\$1,147,118

SECTION 3. BUDGET AMENDMENTS

Pursuant to Section 189.016, *Florida Statutes*, the District at any time within Fiscal Year 2022/2023 or within 60 days following the end of Fiscal Year 2022/2023 may amend its Adopted Budget for that fiscal year as follows:

- a. The Board may authorize an increase or decrease in line item appropriations within a fund by motion recorded in the minutes if the total appropriations of the fund do not increase.
- b. The District Manager or Treasurer may authorize an increase or decrease in line item appropriations within a fund if the total appropriations of the fund do not increase and if the aggregate change in the original appropriation item does not exceed \$10,000 or 10% of the original appropriation.

- c. By resolution, the Board may increase any appropriation item and/or fund to reflect receipt of any additional unbudgeted monies and make the corresponding change to appropriations or the unappropriated balance.
- d. Any other budget amendments shall be adopted by resolution and consistent with Florida law.

The District Manager or Treasurer must establish administrative procedures to ensure that any budget amendments are in compliance with this Section 3 and Section 189.016 of the Florida Statutes, among other applicable laws. Among other procedures, the District Manager or Treasurer must ensure that any amendments to budgets under subparagraphs c. and d. above are posted on the District's website within 5 days after adoption and remain on the website for at least 2 years.

SECTION 4. EFFECTIVE DATE. This Resolution shall take effect immediately upon adoption.

PASSED AND ADOPTED THIS 1ST DAY OF AUGUST, 2022.

ATTEST:

**LAKE POWELL RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT**

Secretary/Assistant Secretary

Chair/Vice Chair, Board of Supervisors

Exhibit A: Fiscal Year 2022/2023 Budget

**LAKE POWELL
COMMUNITY DEVELOPMENT DISTRICT
PROPOSED BUDGET
FISCAL YEAR 2023**

**LAKE POWELL
COMMUNITY DEVELOPMENT DISTRICT
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**LAKE POWELL
COMMUNITY DEVELOPMENT DISTRICT
GENERAL FUND BUDGET
FISCAL YEAR 2023**

	Fiscal Year 2022				Proposed Budget FY 2023
	Adopted Budget FY 2022	Actual through 3/31/2022	Projected through 9/30/2022	Total Actual & Projected	
REVENUES					
Assessment levy - gross	\$ 698,751				\$ 747,849
Allowable discounts (4%)	(27,950)				(29,914)
Assessment levy - net	670,801	\$ 580,381	\$ 90,420	\$ 670,801	717,935
Interest and miscellaneous	1,000	23,188	-	23,188	1,000
Total revenues	671,801	603,569	90,420	693,989	718,935
EXPENDITURES					
Professional & admin					
Supervisors	5,000	4,091	4,091	8,182	5,000
Management services	31,153	15,576	15,577	31,153	31,153
Accounting services	11,012	5,506	5,506	11,012	11,012
Assessment roll preparation	14,510	7,255	7,255	14,510	14,510
Audit	7,500	7,500	-	7,500	7,800
Legal	12,000	3,580	8,420	12,000	12,000
Engineering	13,280	2,150	11,130	13,280	13,280
Engineering - stormwater reporting	-	-	2,500	2,500	-
Postage	1,775	366	1,409	1,775	1,775
Telephone	1,050	525	525	1,050	1,050
Website maintenance	750	-	750	750	750
ADA website compliance	210	-	210	210	210
Insurance	7,500	7,135	-	7,135	8,352
Printing and binding	1,500	750	750	1,500	1,500
Legal advertising	2,500	391	2,109	2,500	2,500
Other current charges	1,200	384	816	1,200	1,200
Office supplies	500	-	500	500	500
Special district annual fee	175	-	175	175	175
Trustee	7,431	-	7,431	7,431	7,431
Arbitrage rebate calculation	1,200	-	1,200	1,200	1,200
Dissemination agent	1,000	500	500	1,000	1,000
Total professional & admin	121,246	55,709	70,854	126,563	122,398
Security					
Security management services	153,000	57,689	95,311	153,000	153,000
Total security	153,000	57,689	95,311	153,000	153,000

**LAKE POWELL
COMMUNITY DEVELOPMENT DISTRICT
GENERAL FUND BUDGET
FISCAL YEAR 2023**

	Fiscal Year 2022				Proposed Budget FY 2023
	Adopted Budget FY 2022	Actual through 3/31/2022	Projected through 9/30/2022	Total Actual & Projected	
EXPENDITURES (continued)					
Lake & wetlands monitoring					
Mitigation and monitoring					
Mitigation-prescribed burns/gyro	46,050	-	46,050	46,050	46,050
Ecologist and operations management	57,980	17,135	40,845	57,980	57,980
Signage	-	-	-	-	10,000
Total wetland & upland	<u>104,030</u>	<u>17,135</u>	<u>86,895</u>	<u>104,030</u>	<u>114,030</u>
Roadway and landscape services					
Road resurfacing	400,000	-	-	-	-
Bridge repairs and maintenance	50,000	-	50,000	50,000	50,000
Roadway repairs and maintenance	63,700	24,825	55,175	80,000	93,700
Road restriping, painting, other projects	-	-	-	-	40,000
Storm clean-up	-	5,750	-	5,750	-
Total roadway services	<u>513,700</u>	<u>30,575</u>	<u>105,175</u>	<u>135,750</u>	<u>183,700</u>
Stormwater management					
Operations	17,250	-	17,250	17,250	17,250
Electric-lift stations	600	905	-	905	600
Pond aeration	30,000	5,903	29,097	35,000	45,000
Stormwater system repairs	18,000	-	50,000	50,000	18,000
Total stormwater management	<u>65,850</u>	<u>6,808</u>	<u>96,347</u>	<u>103,155</u>	<u>80,850</u>

**LAKE POWELL
COMMUNITY DEVELOPMENT DISTRICT
GENERAL FUND BUDGET
FISCAL YEAR 2023**

	Fiscal Year 2022				Proposed Budget FY 2023
	Adopted Budget FY 2022	Actual through 3/31/2022	Projected through 9/30/2022	Total Actual & Projected	
EXPENDITURES (continued)					
Other fees & charges					
Boat house drop downs	-	-	-	-	50,000
Tax collector	13,975	11,608	2,367	13,975	14,957
Total other fees & charges	13,975	11,608	2,367	13,975	64,957
Total expenditures	971,801	179,524	456,949	636,473	718,935
Excess/(deficiency) of revenues over/(under) expenditures	(300,000)	424,045	(366,529)	57,516	-
Fund balance - beginning	1,511,302	1,685,003	2,109,048	1,685,003	1,742,519
Fund balance - ending					
Committed					
Disaster ¹	250,000	250,000	250,000	250,000	250,000
District bridge projects ²	100,000	100,000	100,000	100,000	100,000
Road projects ³	150,000	150,000	150,000	150,000	550,000
Stormwater system upgrades ⁴	50,000	50,000	50,000	50,000	50,000
Assigned					
3 Months Working Capital ⁵	248,575	248,575	248,575	248,575	185,998
Unassigned	412,727	1,310,473	943,944	943,944	606,521
Fund balance- ending	<u>\$ 1,211,302</u>	<u>\$ 2,109,048</u>	<u>\$ 1,742,519</u>	<u>\$ 1,742,519</u>	<u>\$ 1,742,519</u>

¹This item represents a portion of fund balance that is intended to cover the costs of a material disaster, which is defined as aggregate expenditures in excess of \$50,000 that are necessary to mitigate significant damage resulting from a hurricane, tornado, flood, sinkhole or chemical spill within the boundaries of the District.

²The District owns two bridges and anticipates future infrastructure repairs to maintain these assets.

³The road resurfacing project(s) include the CDD road leading to the guard gate and the CDD road(s) beyond the guard gate.

⁴This item is partial/expected costs associated with upgrading and connecting remaining stormwater pumps as needed.

⁵This item represents fund balance that will be needed to cover expenditures from October through December. Note, assessments should be sufficient to replenish this component of fund balance as it will be needed for the same purpose in subsequent fiscal years.

**LAKE POWELL
COMMUNITY DEVELOPMENT DISTRICT
DEFINITIONS OF GENERAL FUND EXPENDITURES**

Expenditures

Professional Services

Supervisors	\$ 5,000
Statutorily set at \$200 (plus applicable taxes) for each meeting of the Board of Supervisors not to exceed \$4,800 for each fiscal year.	
Management services	31,153
Wrathell, Hunt and Associates, LLC specializes in managing community development districts in the State of Florida by combining the knowledge, skills and experience of a team of professionals to ensure compliance with all governmental requirements of the District, administer the issuance of tax exempt bond financing, and finally operate and maintain the assets of the community.	
Accounting services	11,012
Preparation of all financial work related to the governmental and enterprise funds of the District, which includes preparation of monthly financial reports and annual budgets.	
Assessment roll preparation	14,510
The District may collect its annual operating and debt service through direct billing to landowners and/or placement of assessments on the annual real estate tax bill from the county's tax collector. The District's contract for financial services with Wrathell, Hunt and Associates, LLC includes assessment roll preparation services. The District anticipates all assessments to be levied on the November county tax bill.	
Audit	7,800
The District is required by Florida State Statute to undertake an independent examination of its books, records and accounting procedures on an annual basis.	
Legal	12,000
Burke, Blue, Hutchison & Walters, P.A., provides on-going general counsel and legal representation. These lawyers are confronted with issues relating to public finance, public bidding, rulemaking, open meetings, public records, real property dedications, conveyance and contracts. In this capacity, they provide services as "local government lawyers," realizing that this type of local government is very limited in its scope - providing infrastructure and service to development.	
Engineering	13,280
McNeil Carroll Engineering provides a broad array of engineering, consulting and construction services to the District, which assist the District in crafting solutions with sustainability for the long term interests of the community - recognizing the needs of government, the environment and maintenance of District's facilities.	
Postage	1,775
Mailing of agenda packages, overnight deliveries, correspondence, etc.	
Telephone	1,050
Telephone and fax machine.	
Website maintenance	750
ADA website compliance	210
Insurance	8,352
The District carries public officials and general liability insurance policies. The limit of liability is set at \$1,000,000 for general liability (\$2,000,000 general aggregate) and \$1,000,000 for public officials liability limit.	
Printing and binding	1,500
Letterhead, envelopes, copies, etc.	
Legal advertising	2,500
The District advertises in the News Herald for monthly meetings, special meetings, public hearings, bidding, etc. Based on prior year's experience.	

**LAKE POWELL
COMMUNITY DEVELOPMENT DISTRICT
DEFINITIONS OF GENERAL FUND EXPENDITURES**

Expenditures (continued)

Other current charges	1,200
Bank charges, automated AP routing and other miscellaneous expenses that incur during the year.	
Office supplies	500
Accounting and administrative supplies.	
Special district annual fee	175
Annual fee paid to the Department of Economic Opportunity.	
Trustee	7,431
Annual fee paid to US Bank for services provided as trustee, paying agent and registrar.	
Arbitrage rebate calculation	1,200
To ensure the District's compliance with all tax regulations, annual computations are necessary to calculate the arbitrage rebate liability.	
Dissemination agent	1,000
The District must annually disseminate financial information in order to comply with the requirements of Rule 15c2-12 under the Securities Exchange Act of 1934.	

Security

Security management services	153,000
The District entered into an agreement with the Wild Heron POA to provide the management oversight of the District's interest in security services. The security services firm agreement is with the CDD.	

Lake & wetlands monitoring

Mitigation and monitoring	
Mitigation-prescribed burns/gyro	46,050
A licensed and approved contractor will perform the prescribed burning and mechanical fuel reduction to the guidelines set forth by the Wild Heron ecologist. The contractor's goal will be to reduce fuel hazards within the conservation areas without impacting wetlands, endangered plants/trees, and safety for residents and structures.	
Signage	10,000
Ecologist and operations management	57,980
The District has retained the services of Cypress Environmental. The agreement was executed in April of 2016. The agreement can automatically renew with no price increase, an environmental consultant, to provide services as follows:	

Task	Frequency
WQ sampling	1
Prescribed	4
Monthly	12
Mitigation/AM	1
Monthly	4
Lake	54

**LAKE POWELL
COMMUNITY DEVELOPMENT DISTRICT
DEFINITIONS OF GENERAL FUND EXPENDITURES**

Expenditures (continued)

Roadway and landscape services

Bridge repairs and maintenance	50,000
Roadway repairs and maintenance	93,700
Operations and maintenance activities for District-owned roads. These expenditures include minor repairs and modifications, and future construction projects.	
Road restriping, painting, other projects	40,000

Stormwater management

Operations	17,250
This includes the following items relating to the District's stormwater pump stations.	
Pump station maintenance & repairs	10,250
Stormwater inspections-McNeil/Carroll	2,000
Gulf Power Utility costs to power to pump stations	5,000

Electric-lift stations	600
Pond aeration	45,000
Includes electricity, pond treatment services by Lake Doctors and other pond enhancements	
Stormwater system repairs	18,000

Other fees & charges

Boat house drop downs	50,000
Tax collector	14,957
2% of the levied assessment.	

Total expenditures	\$ 718,935
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**LAKE POWELL
COMMUNITY DEVELOPMENT DISTRICT
DEBT SERVICE FUND BUDGET - SERIES 2012 BONDS
FISCAL YEAR 2023**

	Fiscal Year 2022				Adopted Budget FY 2023
	Adopted Budget FY 2022	Actual through 3/31/2022	Projected through 9/30/2022	Total Actual & Projected	
REVENUES					
Assessment levy - gross	\$ 447,933				\$ 444,279
Allowable discounts (4%)	(17,917)				(17,771)
Assessment levy - net	430,016	\$ 372,047	\$ 57,969	\$ 430,016	426,508
Special Assessment - Direct Bill POA	-	-	-	-	1,675
Assessment prepayments	-	12,960	-	12,960	-
Interest	-	14	-	14	-
Total revenues	430,016	385,021	57,969	442,990	428,183
EXPENDITURES					
Debt service					
Principal	215,000	215,000	-	215,000	220,000
Interest	177,881	91,763	92,913	184,676	163,613
Principal prepayment	-	10,000	-	10,000	-
Total debt service	392,881	316,763	92,913	409,676	383,613
Other fees & charges					
Tax collector	8,959	7,440	1,519	8,959	8,886
Total other fees & charges	8,959	7,440	1,519	8,959	8,886
Total expenditures	401,840	324,203	94,432	418,635	392,499
Excess/(deficiency) of revenues over/(under) expenditures	28,176	60,818	(36,463)	24,355	35,684
Fund balance:					
Net increase/(decrease) in fund balance	28,176	60,818	(36,463)	24,355	35,684
Beginning fund balance (unaudited)	573,429	543,795	604,613	543,795	568,150
Ending fund balance (projected)	\$601,605	\$604,613	\$568,150	\$ 568,150	603,834
Use of fund balance					
Debt service reserve account balance (required)					(198,913)
Principal and interest expense - November 1, 2023					(298,919)
Projected fund balance surplus/(deficit) - as of September 30, 2023					\$ 106,002

Lake Powell

Community Development District

Series 2012

\$5,160,000

Debt Service Schedule

Date	Principal	Coupon	Interest	Total P+I
11/01/2022	220,000.00	5.250%	84,693.75	304,693.75
05/01/2023	-	-	78,918.75	78,918.75
11/01/2023	230,000.00	5.750%	78,918.75	308,918.75
05/01/2024	-	-	72,306.25	72,306.25
11/01/2024	245,000.00	5.750%	72,306.25	317,306.25
05/01/2025	-	-	65,262.50	65,262.50
11/01/2025	255,000.00	5.750%	65,262.50	320,262.50
05/01/2026	-	-	57,931.25	57,931.25
11/01/2026	270,000.00	5.750%	57,931.25	327,931.25
05/01/2027	-	-	50,168.75	50,168.75
11/01/2027	290,000.00	5.750%	50,168.75	340,168.75
05/01/2028	-	-	41,831.25	41,831.25
11/01/2028	305,000.00	5.750%	41,831.25	346,831.25
05/01/2029	-	-	33,062.50	33,062.50
11/01/2029	320,000.00	5.750%	33,062.50	353,062.50
05/01/2030	-	-	23,862.50	23,862.50
11/01/2030	340,000.00	5.750%	23,862.50	363,862.50
05/01/2031	-	-	14,087.50	14,087.50
11/01/2031	360,000.00	5.750%	14,087.50	374,087.50
05/01/2032	-	-	3,737.50	3,737.50
11/01/2032	130,000.00	5.750%	3,737.50	133,737.50
Total	\$3,180,000.00	-	\$1,142,062.50	\$4,322,062.50

**LAKE POWELL
COMMUNITY DEVELOPMENT DISTRICT
PER UNIT ASSESSMENT SUMMARY AND COMPARISSON
FISCAL YEAR 2022 ACTUAL AND FISCAL YEAR 2023 PROPOSED**

BOND-PAYING UNITS

	Units	Assessments Per Unit			Revenue Per Fund		
		General Fund	Debt Service Fund	Total	General Fund	Debt Service Fund	Total
Resident							
Unit type: SF 120' Reduced							
FY 2023 (proposed)	73	\$ 1,237.34	\$ 1,069.62	\$ 2,306.96	\$ 90,325.82	\$ 78,082.26	\$ 168,408.08
FY 2022 (actual)	73	\$ 1,152.29	\$ 1,069.62	\$ 2,221.91	\$ 84,117.17	\$ 78,082.26	\$ 162,199.43
\$ Variance		\$ 85.05	\$ -	\$ 85.05	\$ 6,208.65	\$ -	\$ 6,208.65
% Variance		7.4%	0.0%	3.8%	7.4%	0.0%	3.8%
Unit type: SF 85' Full							
FY 2023 (proposed)	52	\$ 1,237.34	\$ 1,515.21	\$ 2,752.55	\$ 64,341.68	\$ 78,790.92	\$ 143,132.60
FY 2022 (actual)	53	\$ 1,152.29	\$ 1,515.21	\$ 2,667.50	\$ 61,071.37	\$ 80,306.13	\$ 141,377.50
\$ Variance		\$ 85.05	\$ -	\$ 85.05	\$ 3,270.31	\$ (1,515.21)	\$ 1,755.10
% Variance		7.4%	0.0%	3.2%	5.4%	-1.9%	1.2%
Unit type: SF 85' Reduced							
FY 2023 (proposed)	106	\$ 1,237.34	\$ 757.61	\$ 1,994.95	\$ 131,158.04	\$ 80,306.66	\$ 211,464.70
FY 2022 (actual)	106	\$ 1,152.29	\$ 757.61	\$ 1,909.90	\$ 122,142.74	\$ 80,306.66	\$ 202,449.40
\$ Variance		\$ 85.05	\$ -	\$ 85.05	\$ 9,015.30	\$ -	\$ 9,015.30
% Variance		7.4%	0.0%	4.5%	7.4%	0.0%	4.5%
Unit type: SF 65' Reduced							
FY 2023 (proposed)	76	\$ 1,237.34	\$ 580.06	\$ 1,817.40	\$ 94,037.84	\$ 44,084.56	\$ 138,122.40
FY 2022 (actual)	76	\$ 1,152.29	\$ 580.06	\$ 1,732.35	\$ 87,574.04	\$ 44,084.56	\$ 131,658.60
\$ Variance		\$ 85.05	\$ -	\$ 85.05	\$ 6,463.80	\$ -	\$ 6,463.80
% Variance		7.4%	0.0%	4.9%	7.4%	0.0%	4.9%
Unit type: SF 55' Full							
FY 2023 (proposed)	37	\$ 1,237.34	\$ 891.20	\$ 2,128.54	\$ 45,781.58	\$ 32,974.40	\$ 78,755.98
FY 2022 (actual)	37	\$ 1,152.29	\$ 891.20	\$ 2,043.49	\$ 42,634.73	\$ 32,974.40	\$ 75,609.13
\$ Variance		\$ 85.05	\$ -	\$ 85.05	\$ 3,146.85	\$ -	\$ 3,146.85
% Variance		7.4%	0.0%	4.2%	7.4%	0.0%	4.2%
Unit type: SF 45' Full							
FY 2023 (proposed)	29	\$ 1,237.34	\$ 891.20	\$ 2,128.54	\$ 35,882.86	\$ 25,844.80	\$ 61,727.66
FY 2022 (actual)	31	\$ 1,152.29	\$ 891.20	\$ 2,043.49	\$ 35,720.99	\$ 27,627.20	\$ 63,348.19
\$ Variance		\$ 85.05	\$ -	\$ 85.05	\$ 161.87	\$ (1,782.40)	\$ (1,620.53)
% Variance		7.4%	0.0%	4.2%	0.5%	-6.5%	-2.6%
Unit type: SF 45' Reduced							
FY 2023 (proposed)	49	\$ 1,237.34	\$ 445.60	\$ 1,682.94	\$ 60,629.66	\$ 21,834.40	\$ 82,464.06
FY 2022 (actual)	49	\$ 1,152.29	\$ 445.60	\$ 1,597.89	\$ 56,462.21	\$ 21,834.40	\$ 78,296.61
\$ Variance		\$ 85.05	\$ -	\$ 85.05	\$ 4,167.45	\$ -	\$ 4,167.45
% Variance		7.4%	0.0%	5.3%	7.4%	0.0%	5.3%
Unit type: Condo Full							
FY 2023 (proposed)	76	\$ 1,237.34	\$ 712.79	\$ 1,950.13	\$ 94,037.84	\$ 54,172.04	\$ 148,209.88
FY 2022 (actual)	76	\$ 1,152.29	\$ 712.79	\$ 1,865.08	\$ 87,574.04	\$ 54,172.04	\$ 141,746.08
\$ Variance		\$ 85.05	\$ -	\$ 85.05	\$ 6,463.80	\$ -	\$ 6,463.80
% Variance		7.4%	0.0%	4.6%	7.4%	0.0%	4.6%
Unit type: Condo Reduced							
FY 2023 (proposed)	79	\$ 1,237.34	\$ 356.82	\$ 1,594.16	\$ 97,749.86	\$ 28,188.78	\$ 125,938.64
FY 2022 (actual)	80	\$ 1,152.29	\$ 356.82	\$ 1,509.11	\$ 92,183.20	\$ 28,545.60	\$ 120,728.80
\$ Variance		\$ 85.05	\$ -	\$ 85.05	\$ 5,566.66	\$ (356.82)	\$ 5,209.84
% Variance		7.4%	0.0%	5.6%	6.0%	-1.3%	4.3%
Golf							
FY 2023 (proposed)	-	\$ 9,156.32	\$ 8,914.59	\$ 18,070.91	\$ -	\$ -	\$ -
FY 2022 (actual)	-	\$ 8,526.95	\$ 8,914.59	\$ 17,441.54	\$ -	\$ -	\$ -
\$ Variance		\$ 629.37	\$ -	\$ 629.37	\$ -	\$ -	\$ -
% Variance		7.4%	0.0%	3.6%	n/a	n/a	n/a

Note: Unit counts are based on the FY 2022 Budget and will be updated after new information is available from Bay County.

**LAKE POWELL
COMMUNITY DEVELOPMENT DISTRICT
PER UNIT ASSESSMENT SUMMARY AND COMPARISSON
FISCAL YEAR 2022 ACTUAL AND FISCAL YEAR 2023 PROPOSED**

PRE-PAID UNITS

	Units	Assessments Per Unit			Revenue Per Fund		
		General Fund	Debt Service Fund	Total	General Fund	Debt Service Fund	Total
Resident							
FY 2023 (proposed)	20	\$ 1,237.34	\$ -	\$ 1,237.34	\$ 24,746.80	\$ -	\$ 24,746.80
FY 2022 (actual)	18	\$ 1,152.29	\$ -	\$ 1,152.29	\$ 20,741.22	\$ -	\$ 20,741.22
\$ Variance		\$ 85.05	\$ -	\$ 85.05	\$ 4,005.58	\$ -	\$ 4,005.58
% Variance		7.4%	n/a	7.4%	19.3%	n/a	19.3%
Golf							
FY 2023 (proposed)	1	\$ 9,156.32	\$ -	\$ 9,156.32	\$ 9,156.32	\$ -	\$ 9,156.32
FY 2022 (actual)	1	\$ 8,526.95	\$ -	\$ 8,526.95	\$ 8,526.95	\$ -	\$ 8,526.95
\$ Variance		\$ 629.37	\$ -	\$ 629.37	\$ 629.37	\$ -	\$ 629.37
% Variance		7.4%	n/a	7.4%	7.4%	n/a	7.4%

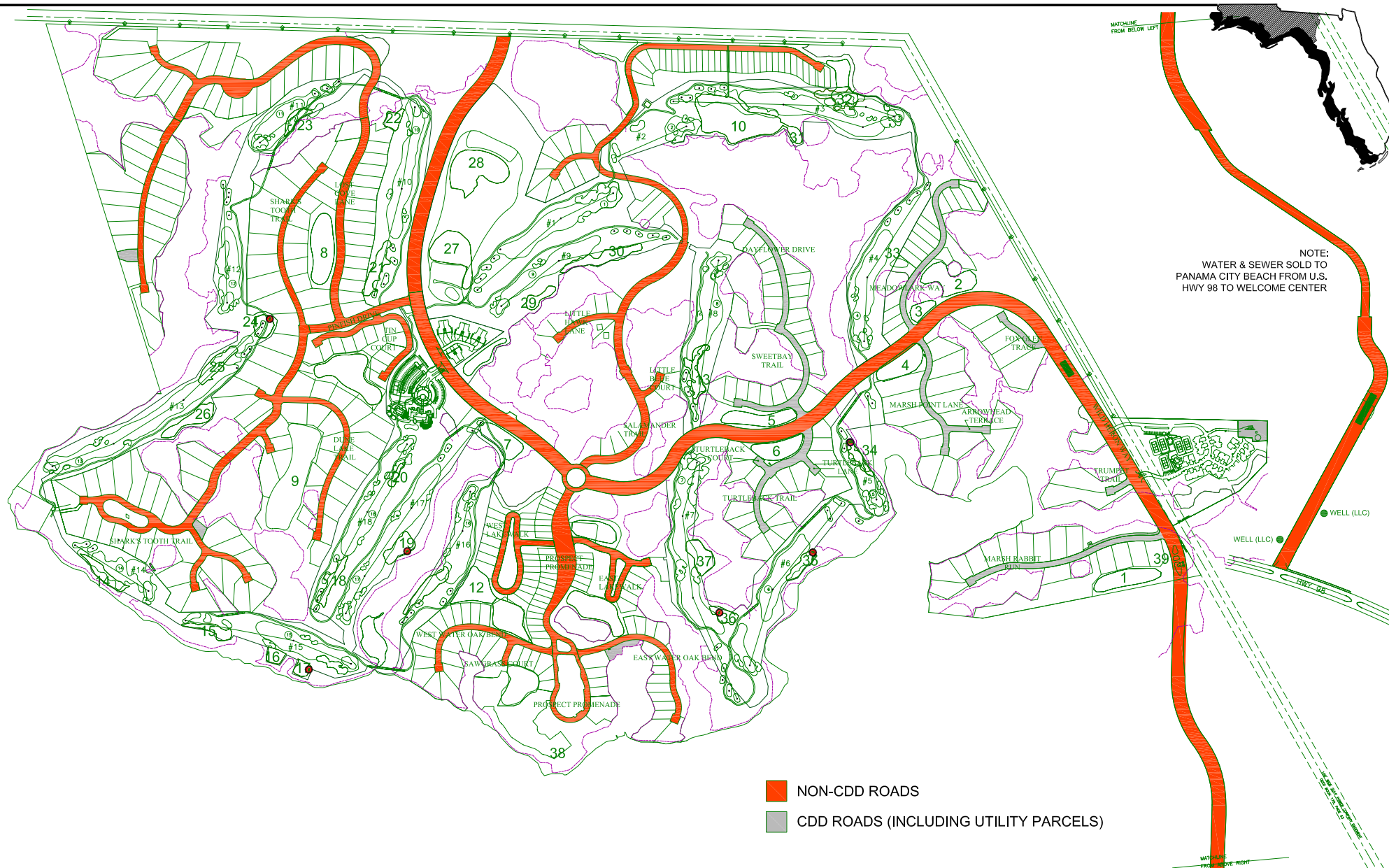
Note: Unit counts are based on the FY 2022 Budget and will be updated after new information is available from Bay County.

**TOTAL REVENUE PER FUND
ALL UNIT TYPES**

	Revenue Per Fund		
	General Fund	Debt Service Fund	Total
FY 2023 (proposed)	\$ 747,848	\$ 444,279	\$ 1,192,127
FY 2022 (actual)	\$ 698,749	\$ 447,933	\$ 1,146,682
\$ Variance	\$ 49,099	\$ (3,654)	\$ 45,445
% Variance	7.0%	-0.8%	4.0%

**LAKE POWELL
COMMUNITY DEVELOPMENT DISTRICT
EXHIBIT I
MAPS DEPICITING CDD ASSET INVENTORY
FISCAL YEAR 2023**

Date: Sep. 19, 2007, 8:58:00am User ID: REF File: P:\60516 CDD Water Sewer\DRAWING\Exhibit B-1 & CDD - WNE-SWILES-ROADS.dwg
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- NON-CDD ROADS
- CDD ROADS (INCLUDING UTILITY PARCELS)

NOTE:
 WATER & SEWER SOLD TO
 PANAMA CITY BEACH FROM U.S.
 HWY 98 TO WELCOME CENTER

REV	DATE	BY	REVISIONS
1	AUG 07	REF/JHS	REVISED PER AUGUST 2007 TRANSFERS
NOT			RELEASED FOR CONSTRUCTION BY: DATE:

SCALE: .
DESIGNED BY: JHS
DRAWN BY: REF
REVIEWED BY: JHS
ISSUE DATE: 01 JUNE 06
ACAD FILE NAME: CDD & NON CDD Roads

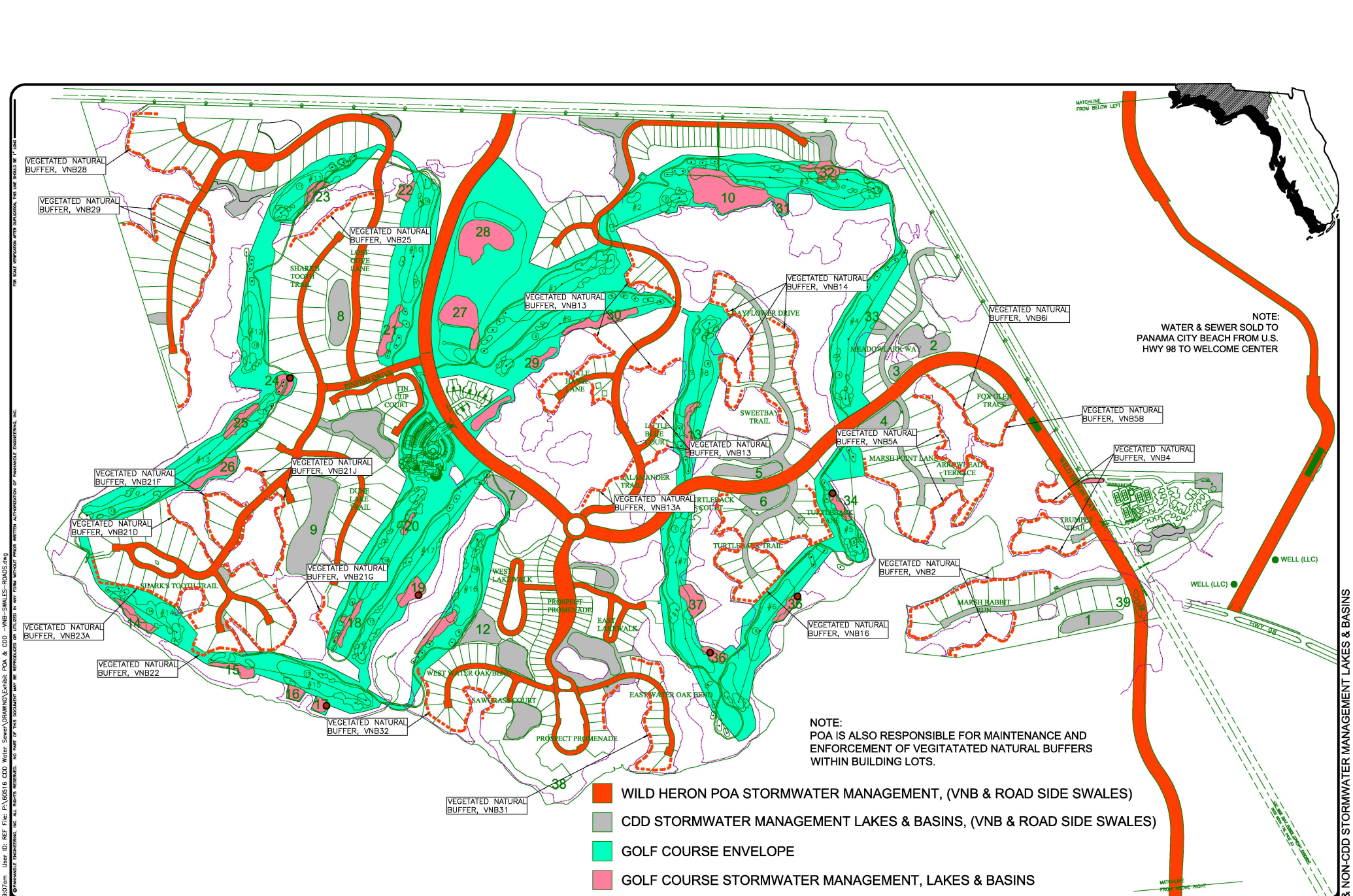
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 3005 SOUTH HIGHWAY 77 LYNN HAVEN, FLORIDA 32444
 (850)763-5200 Fax(850)769-0730 panhandleengineering.com

EXHIBIT "B-1"
CDD & NON-CDD ROADS
WILD HERON
 BAY COUNTY, FLORIDA

James H. Stonina, P.E. 0000039197
 James M. Southall, P.E. 0000039637
 DPR CERTIFICATION No. EB-0007806

SHEET NUMBER	1 OF 4
PROJECT NUMBER	60516

CDD & NON-CDD ROADS



REV	DATE	BY	REVISIONS
1	AUG 07	REF/JHS	REVISED PER AUGUST 2007 TRANSFERS
NOT			RELEASED FOR CONSTRUCTION BY: DATE:

SCALE:	
DESIGNED BY:	JHS
DRAWN BY:	REF
REVIEWED BY:	JHS
ISSUE DATE:	01 JUNE 08
ACAD FILE NAME:	CDD & NON CDD R1.dwg

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EXHIBIT "B-2"
CDD & NON-CDD STORMWATER MANAGEMENT LAKES & BASINS AT WILD HERON
 BAY COUNTY, FLORIDA

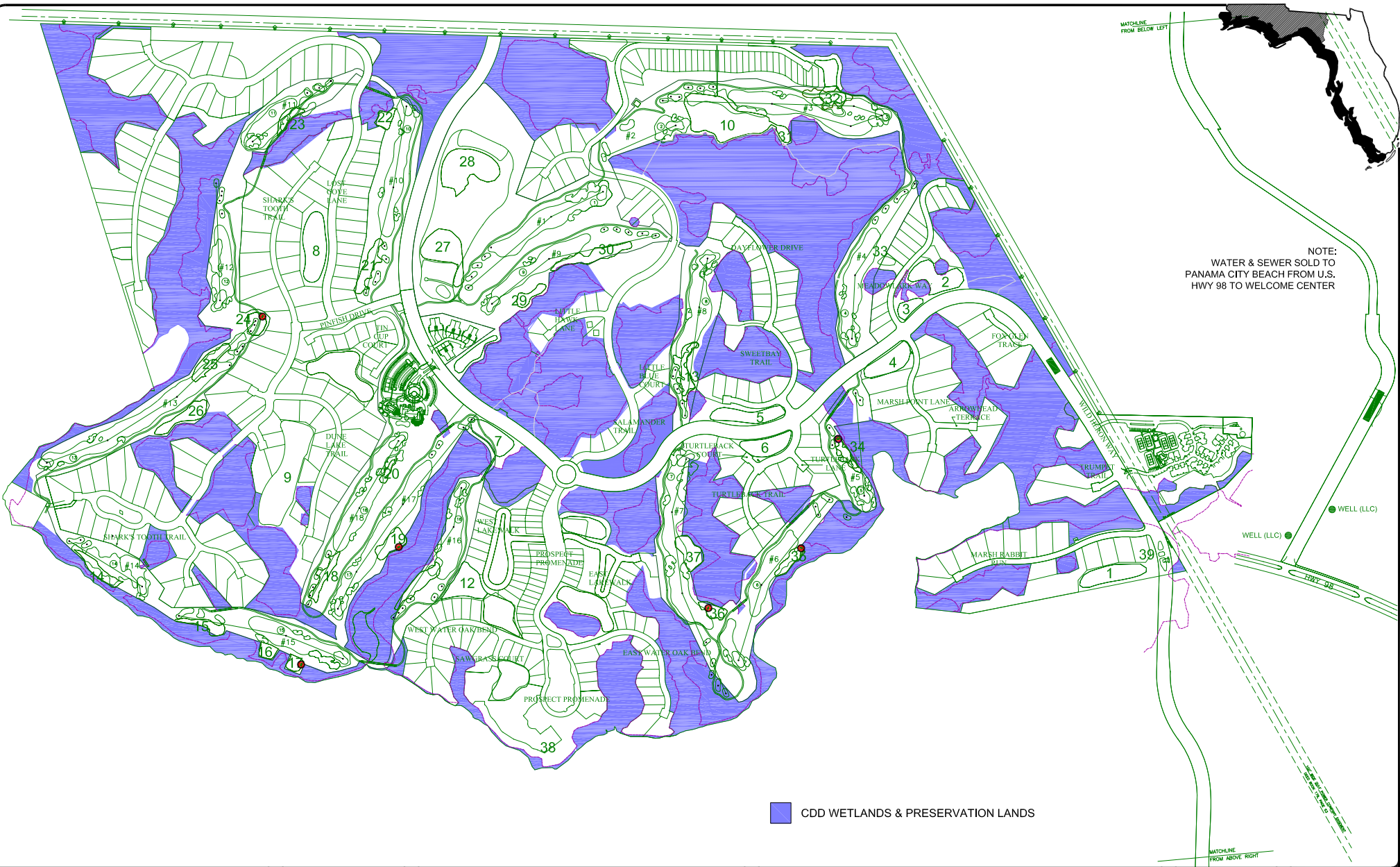
James H. Stonin, P.E. 0000039197
 James M. Southall, P.E. 0000039637
 DPR CERTIFICATION NO. EB-0007806

SHEET NUMBER	2 OF 4
PROJECT NUMBER	60516

Date: Sep 19, 2007, 9:07am User: JD REF File: P:\60516 CDD Water Service\DRAWING\Exhibit POA & CDD -VNB-SWALES-ROADS.dwg
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CDD & NON-CDD STORMWATER MANAGEMENT LAKES & BASINS

Date: Sep. 19, 2007, 9:09am User: ID: REF File: P:\60516 CDD Wetland\Drawings\Exhibit B-3 & CDD - WNE-SWILES-ROADS.dwg
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 FOR SCALE INFORMATION AFTER DEDUPLICATION THIS SHEET SHALL BE 1" = 100'



NOTE:
 WATER & SEWER SOLD TO
 PANAMA CITY BEACH FROM U.S.
 HWY 98 TO WELCOME CENTER

CDD WETLANDS & PRESERVATION LANDS

REV	DATE	BY	REVISIONS
1	AUG 07	REF/LHS	REVISED PER AUGUST 2007 TRANSFERS
NOT			RELEASED FOR CONSTRUCTION BY: DATE:

SCALE: .
DESIGNED BY: JHS
DRAWN BY: REF
REVIEWED BY: JHS
ISSUE DATE: 01 JUNE 06
ACAD FILE NAME: CDD & NON CDD

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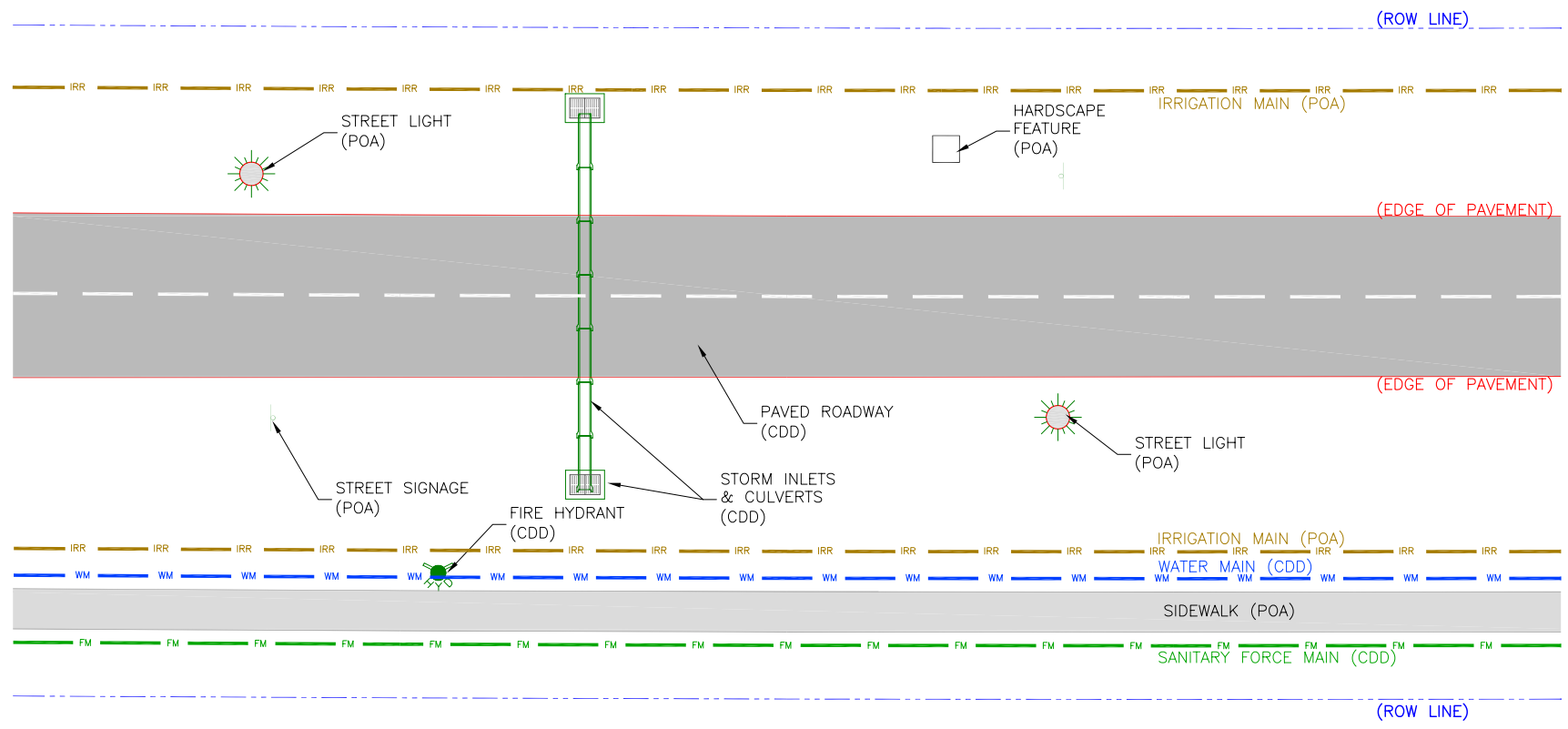
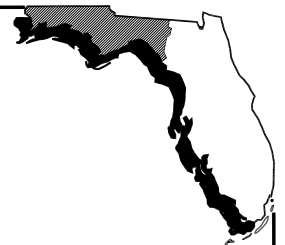
EXHIBIT "B-3"
CDD WETLANDS & PRESERVATION LANDS
WILD HERON
 BAY COUNTY, FLORIDA

James H. Stonina, P.E. 0000039197
 James M. Southall, P.E. 0000039637
 DPR CERTIFICATION No. EB-0007806

SHEET NUMBER	3 of 4
PROJECT NUMBER	60516

CDD WETLANDS & PRESERVATION LANDS SHT 3

Date: Sep. 19, 2007, 9:10am User: ID: REF File: P:\60516 CDD\Water Service\Drawings\Exhibit POA & CDD - WNR-SWILES-ROADS.dwg
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REV	DATE	BY	REVISIONS
1	AUG 07	REF/LHS	REVISED PER AUGUST 2007 TRANSFERS
NOT			RELEASED FOR CONSTRUCTION BY: DATE:

SCALE: .
DESIGNED BY: JHS
DRAWN BY: REF
REVIEWED BY: JHS
ISSUE DATE: 01 JUNE 06
ACAD FILE NAME: CDD & NON CDD

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 (850)763-5200 Fax(850)769-0730 panhandleengineering.com

EXHIBIT "B-4"
WILD HERON WAY
WILD HERON
BAY COUNTY, FLORIDA

James H. Stonina, P.E. 0000039197
 James M. Southall, P.E. 0000039637
 DPR CERTIFICATION No. EB-0007806

SHEET NUMBER	4 OF 4
PROJECT NUMBER	60516

WILD HERON WAY SHT 4

**LAKE POWELL
RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT**

4

RESOLUTION 2022-07

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE LAKE POWELL RESIDENTIAL GOLF COMMUNITY DEVELOPMENT DISTRICT MAKING A DETERMINATION OF BENEFIT AND IMPOSING SPECIAL ASSESSMENTS FOR FISCAL YEAR 2022/2023; PROVIDING FOR THE COLLECTION AND ENFORCEMENT OF SPECIAL ASSESSMENTS; CERTIFYING AN ASSESSMENT ROLL; PROVIDING FOR AMENDMENTS TO THE ASSESSMENT ROLL; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the Lake Powell Residential Golf Community Development District ("**District**") is a local unit of special-purpose government established pursuant to Chapter 190, *Florida Statutes* for the purpose of providing, operating and maintaining infrastructure improvements, facilities and services to the lands within the District; and

WHEREAS, the District is located in Bay County, Florida ("**County**"); and

WHEREAS, the District has constructed or acquired various infrastructure improvements and provides certain services in accordance with the District's adopted capital improvement plan and Chapter 190, *Florida Statutes*; and

WHEREAS, the Board of Supervisors ("**Board**") of the District hereby determines to undertake various operations and maintenance and other activities described in the District's budget ("**Adopted Budget**") for the fiscal year beginning October 1, 2022 and ending September 30, 2023 ("**Fiscal Year 2022/2023**"), attached hereto as **Exhibit A**; and

WHEREAS, the District must obtain sufficient funds to provide for the operation and maintenance of the services and facilities provided by the District as described in the Adopted Budget; and

WHEREAS, the provision of such services, facilities, and operations is a benefit to lands within the District; and

WHEREAS, Chapter 190, *Florida Statutes*, provides that the District may impose special assessments on benefitted lands within the District; and

WHEREAS, it is in the best interests of the District to proceed with the imposition of the special assessments for operations and maintenance in the amount set forth in the Adopted Budget; and

WHEREAS, the District has previously levied an assessment for debt service, which the District desires to collect for Fiscal Year 2022/2023; and

WHEREAS, Chapter 197, *Florida Statutes*, provides a mechanism pursuant to which such special assessments may be placed on the tax roll and collected by the local tax collector (“**Uniform Method**”), and the District has previously authorized the use of the Uniform Method by, among other things, entering into agreements with the Property Appraiser and Tax Collector of the County for that purpose; and

WHEREAS, it is in the best interests of the District to adopt the assessment roll (“**Assessment Roll**”) attached to this Resolution as **Exhibit B**, and to certify the Assessment Roll to the County Tax Collector pursuant to the Uniform Method; and

WHEREAS, it is in the best interests of the District to permit the District Manager to amend the Assessment Roll, certified to the County Tax Collector by this Resolution, as the Property Appraiser updates the property roll for the County, for such time as authorized by Florida law.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE LAKE POWELL RESIDENTIAL GOLF COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. BENEFIT & ALLOCATION FINDINGS. The provision of the services, facilities, and operations as described in **Exhibit A** confers a special and peculiar benefit to the lands within the District, which benefits exceeds or equals the cost of the assessments. The allocation of the assessments to the specially benefitted lands is shown in **Exhibits A and B**, and is hereby found to be fair and reasonable.

SECTION 2. ASSESSMENT IMPOSITION. Pursuant to Chapters 170, 190 and 197, *Florida Statutes*, and using the procedures authorized by Florida law for the levy and collection of special assessments, a special assessment for operation and maintenance is hereby imposed and levied on benefitted lands within the District, and in accordance with **Exhibits A and B**. The lien of the special assessments for operations and maintenance imposed and levied by this Resolution shall be effective upon passage of this Resolution.

SECTION 3. COLLECTION AND ENFORCEMENT; PENALTIES; INTEREST.

- A. Tax Roll Assessments.** The operation and maintenance special assessments and previously levied debt service special assessments shall be collected at the same time and in the same manner as County taxes in accordance with the Uniform Method, as set forth in **Exhibits A and B**.
- B. Future Collection Methods.** The decision to collect special assessments by any particular method – e.g., on the tax roll or by direct bill – does not mean that such method will be used to collect special assessments in future years, and the District reserves the right in its sole discretion to select collection methods in any given year, regardless of past practices.

SECTION 4. ASSESSMENT ROLL. The District's Assessment Roll, attached to this Resolution as **Exhibit B**, is hereby certified to the County Tax Collector and shall be collected by the County Tax Collector in the same manner and time as County taxes. The proceeds therefrom shall be paid to the Lake Powell Residential Golf Community Development District.

SECTION 5. ASSESSMENT ROLL AMENDMENT. The District Manager shall keep apprised of all updates made to the County property roll by the Property Appraiser after the date of this Resolution, and shall amend the District's Assessment Roll in accordance with any such updates, for such time as authorized by Florida law, to the County property roll. After any amendment of the Assessment Roll, the District Manager shall file the updates in the District records.

SECTION 6. SEVERABILITY. The invalidity or unenforceability of any one or more provisions of this Resolution shall not affect the validity or enforceability of the remaining portions of this Resolution, or any part thereof.

SECTION 7. EFFECTIVE DATE. This Resolution shall take effect upon the passage and adoption of this Resolution by the Board of Supervisors of the Lake Powell Residential Golf Community Development District.

PASSED AND ADOPTED this 1st day of August, 2022.

ATTEST:

**LAKE POWELL RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT**

Secretary/Assistant Secretary

Chair/Vice Chair, Board of Supervisors

Exhibit A: Budget
Exhibit B: Assessment Roll (Uniform Method)
Assessment Roll (Direct Collect)

Exhibit A: Budget

Exhibit B: Assessment Roll

**LAKE POWELL
RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT**

6A

Background Information

Please provide your contact and location information, then proceed to the template on the next sheet.

Name of Local Government:	Lake Powell Residential Golf Community Development District
Name of stormwater utility, if applicable:	
Contact Person	
Name:	Robert Carroll, P.E.
Position/Title:	District Engineer
Email Address:	rcarroll@mcneilcarroll.com
Phone Number:	850-234-1730

Indicate the Water Management District(s) in which your service area is located.

- | | |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | Northwest Florida Water Management District (NFWMD) |
| <input type="checkbox"/> | Suwannee River Water Management District (SRWMD) |
| <input type="checkbox"/> | St. Johns River Water Management District (SJRWMD) |
| <input type="checkbox"/> | Southwest Florida Water Management District (SWFWMD) |
| <input type="checkbox"/> | South Florida Water Management District (SFWMD) |

Indicate the type of local government:

- | | |
|-------------------------------------|------------------------------|
| <input type="checkbox"/> | Municipality |
| <input type="checkbox"/> | County |
| <input checked="" type="checkbox"/> | Independent Special District |

Part 1.0 Detailed description of the stormwater management program (Section 403.9302(3)(a), F.S.)

The stormwater management program, as defined in the Introduction, includes those activities associated with the management, operation and maintenance, and control of stormwater and stormwater management systems, including activities required by state and federal law. The detailed program description is divided into multiple subparts consisting of narrative and data fields.

Part 1.1 Narrative Description:

Please provide a brief description of the current institutional strategy for managing stormwater in your jurisdiction. Please include any mission statement, divisions or departments dedicated solely or partly to managing stormwater, dedicated funding sources, and other information that best describes your approach to stormwater:

The Lake Powell Residential Golf Community Development District is specifically authorized by Florida Statute 190 to finance, fund, plan, establish, acquire, construct or reconstruct, enlarge or extend, equip, operate and maintain the onsite stormwater management facility.

On a scale of 1 to 5, with 5 being the highest, please indicate the importance of each of the following goals for your program:

0	1	2	3	4	5	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drainage & flood abatement (such as flooding events associated with rainfall and hurricanes)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Water quality improvement (TMDL Process/BMAPs/other)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Reduce vulnerability to adverse impacts from flooding related to increases in frequency and duration of rainfall events, storm surge and sea level rise
						Other:
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Part 1.2 Current Stormwater Program Activities:

Please provide answers to the following questions regarding your stormwater management program.

- | | |
|--|----|
| • Does your jurisdiction have an NPDES Municipal Separate Storm Sewer System (MS4) Permit? | No |
| If yes, is your jurisdiction regulated under Phase I or Phase II of the NPDES Program: | |
- | | |
|---|-----|
| • Does your jurisdiction have a dedicated stormwater utility? | Yes |
| If no, do you have another funding mechanism? | |
| If yes, please describe your funding mechanism. | |
| Community Development Districts are specifically authorized by Florida Statute 190 to finance, fund, plan, establish, acquire, construct or reconstruct, enlarge or extend, equip, operate and maintain systems, facilities and infrastructure. | |
- | | |
|--|-----|
| • Does your jurisdiction have a Stormwater Master Plan or Plans? | Yes |
| If Yes: | |
| How many years does the plan(s) cover? | 20 |
| Are there any unique features or limitations that are necessary to understand what the plan does or does not address? | |
| the community contains dry retention, wet detention, roadside swales and natural vegetative buffers throughout to provide stormwater treatment | |
| Please provide a link to the most recently adopted version of the document (if it is published online): | |
- | | |
|--|-----|
| • Does your jurisdiction have an asset management (AM) system for stormwater infrastructure? | Yes |
| If Yes, does it include 100% of your facilities? | Yes |
| If your AM includes less than 100% of your facilities, approximately what percent of your facilities are included? | |

- Does your stormwater management program implement the following (answer Yes/No):

A construction sediment and erosion control program for new construction (plans review and/or inspection)?	Yes
An illicit discharge inspection and elimination program?	Yes
A public education program?	Yes
A program to involve the public regarding stormwater issues?	Yes
A “housekeeping” program for managing stormwater associated with vehicle maintenance yards, chemical storage, fertilizer management, <i>etc.</i> ?	Yes
A stormwater ordinance compliance program (<i>i.e.</i> , for low phosphorus fertilizer)?	Yes
Water quality or stream gage monitoring?	Yes
A geospatial data or other mapping system to locate stormwater infrastructure (GIS, <i>etc.</i>)?	Yes
A system for managing stormwater complaints?	Yes
Other specific activities?	

Notes or Comments on any of the above:

Part 1.3 Current Stormwater Program Operation and Maintenance Activities

Please provide answers to the following questions regarding the operation and maintenance activities undertaken by your stormwater management program.

- Does your jurisdiction typically assume maintenance responsibility for stormwater systems associated with new private development (*i.e.*, systems that are dedicated to public ownership and/or operation upon completion)? No

Notes or Comments on the above:

- Does your stormwater operation and maintenance program implement any of the following (answer Yes/No):

Routine mowing of turf associated with stormwater ponds, swales, canal/lake banks, etc. ?	Yes
Debris and trash removal from pond skimmers, inlet grates, ditches, etc. ?	Yes
Invasive plant management associated with stormwater infrastructure?	Yes
Ditch cleaning?	Yes
Sediment removal from the stormwater system (vector trucks, other)?	Yes
Muck removal (dredging legacy pollutants from water bodies, canal, etc.)?	No
Street sweeping?	No
Pump and mechanical maintenance for trash pumps, flood pumps, alum injection, etc. ?	No
Non-structural programs like public outreach and education?	Yes
Other specific routine activities?	

Part 2. Detailed description of the stormwater management system and its facilities and projects (continued Section 403.9302(3)(a), F.S.)

A stormwater management system, as defined in the Introduction, includes the entire set of site design features and structural infrastructure for collection, conveyance, storage, infiltration, treatment, and disposal of stormwater. It may include drainage improvements and measures to prevent streambank channel erosion and habitat degradation. This section asks for a summary description of your stormwater management system. It is not necessary to provide geospatial asset data or a detailed inventory. For some, it may be possible to gather the required data from your Asset Management (AM) system. For others, data may be gathered from sources such as an MS4 permit application, aerial photos, past or ongoing budget investments, water quality projects, or any other system of data storage/management that is employed by the jurisdiction.

Please provide answers to the following questions regarding your stormwater system inventory. Enter zero (0) if your system does not include the component.

	Number	Unit of Measurement
Estimated feet or miles of buried culvert:	10,652.00	Feet
Estimated feet or miles of open ditches/conveyances (lined and unlined) that are maintained by the stormwater program:	47,650.00	Feet
Estimated number of storage or treatment basins (<i>i.e.</i> , wet or dry ponds):	22	
Estimated number of gross pollutant separators including engineered sediment traps such as baffle boxes, hydrodynamic separators, <i>etc.</i> :	0	
Number of chemical treatment systems (<i>e.g.</i> , alum or polymer injection):	0	
Number of stormwater pump stations:	0	
Number of dynamic water level control structures (<i>e.g.</i> , operable gates and weirs that control canal water levels):	11	
Number of stormwater treatment wetland systems:	1	
Other:		

Notes or Comments on any of the above:

Which of the following green infrastructure best management practices do you use to manage water flow and/or improve water quality (answer Yes/No):

Best Management Practice	Current	Planned
Tree boxes	No	No
Rain gardens	No	No
Green roofs	No	No
Pervious pavement/pavers	No	No
Littoral zone plantings	Yes	No
Living shorelines	No	No
Other Best Management Practices:		
Roadside Swales	Yes	Yes

Please indicate which resources or documents you used when answering these questions (check all that apply).

- Asset management system
 - GIS program
 - MS4 permit application
 - Aerial photos
 - Past or ongoing budget investments
 - Water quality projects
- Other(s):
- Original permit drawings and as built

Part 3. The number of current and projected residents served calculated in 5-year increments (Section 403.9302(3)(b), F.S.)

Counties and municipalities: Instead of requiring separate population projections, EDR will calculate the appropriate population estimates for each municipality or the unincorporated area of the county. If your service area is less than or more than your local government’s population, please describe in the first text box provided below for part 4.0.

Independent Special Districts:

If an independent special district’s boundaries are completely aligned with a county or a municipality, identify that jurisdiction here:

property is within unincorporated Bay County

Any independent special district whose boundaries do not coincide with a county or municipality must submit a GIS shapefile with the current and projected service area. EDR will calculate the appropriate population estimates based on that map. Submission of this shapefile also serves to complete Part 4.0 of this template.

Part 4.0 The current and projected service area for the stormwater management program or stormwater management system (Section 403.9302(3)(c), F.S.)

Rather than providing detailed legal descriptions or maps, this part of the template is exception-based. In this regard, if the stormwater service area is less than or extends beyond the geographic limits of your jurisdiction, please explain.

all of the stormwater management system has been installed and is within the community of Lake Powell Residential Golf Community Development District

Similarly, if your service area is expected to change within the 20-year horizon, please describe the changes (e.g., the expiration of an interlocal agreement, introduction of an independent special district, etc.).

all of the infrastructure has been installed for the community.

[Proceed to Part 5](#)

Part 5.0 The current and projected cost of providing services calculated in 5-year increments (Section 403.9302(3)(d), F.S.)

Given the volume of services, jurisdictions should use the template’s service groupings rather than reporting the current and projected cost of each individual service. Therefore, for the purposes of this document, “services” means:

1. Routine operation and maintenance (inclusive of the items listed in Part 1.3 of this document, ongoing administration, and non-structural programs)
2. Expansion (that is, improvement) of a stormwater management system.

Expansion means new work, new projects, retrofitting, and significant upgrades. Within the template, there are four categories of expansion projects.

1. Flood protection, addressed in parts 5.2 and 5.3... this includes capital projects intended for flood protection/flood abatement
2. Water quality, addressed in part 5.2 and 5.3... this includes stormwater projects related to water quality improvement, such as BMAPs; projects to benefit natural systems through restoration or enhancement; and stormwater initiatives that are part of aquifer recharge projects
3. Resiliency, addressed in part 5.4... this includes all major stormwater initiatives that are developed specifically to address the effects of climate change, such as sea level rise and increased flood events
4. End of useful life replacement projects, addressed in part 6.0... this includes major expenses associated with the replacement of aging infrastructure

While numbers 3 and 4 have components that would otherwise fit into the first two categories, they are separately treated given their overall importance to the Legislature and other policymakers.

Expansion projects are further characterized as currently having either a committed funding source or no identified funding source. Examples of a committed funding source include the capacity to absorb the project’s capital cost within current budget levels or forecasted revenue growth; financing that is underway or anticipated (bond or loan); known state or federal funding (appropriation or grant); special assessment; or dedicated cash reserves for future expenditure.

All answers should be based on local fiscal years (LFY, beginning October 1 and running through September 30). Please use nominal dollars for each year, but include any expected cost increases for inflation or population growth. Please check the EDR website for optional growth rate schedules that may be helpful.

If you have more than 5 projects in a particular category, please use the "Additional Projects" tab. There, you can use dropdown lists to choose the project category and whether there is a committed funding source, then enter the project name and expenditure amounts.

Part 5.1 Routine Operation and Maintenance

Please complete the table below, indicating the cost of operation and maintenance activities for the current year and subsequent five-year increments throughout the 20-year horizon. Your response to this part should exclude future initiatives associated with resiliency or major expenses associated with the replacement of aging infrastructure; these activities are addressed in subparts 5.4 and 6.0. However, do include non-structural programs like public outreach and education in this category.

If specific cost data is not yet available for the current year, the most recent (2020-21) O&M value can be input into the optional growth rate schedules (available on EDR’s website as an Excel workbook). The most recent O&M value can be grown using the provided options for inflation, population growth, or some other metric of your choosing. If the growth in your projected total O&M costs is more than 15% over any five-year increment, please provide a brief explanation of the major drivers.

Routine Operation and Maintenance	Expenditures (in \$thousands)				
	LFY 2021-2022	2022-23 to 2026-27	2027-28 to 2031-32	2032-33 to 2036-37	2037-38 to 2041-42
Operation and Maintenance Costs	66	67	68	69	70
Brief description of growth greater than 15% over any 5-year period:					

Part 5.2 Future Expansion (Committed Funding Source)

Please list expansion projects and their associated costs for the current year and subsequent five-year increments throughout the 20-year planning horizon. In this section, include stormwater system expansion projects or portions of projects with a committed funding source. If you include a portion of a project that is not fully funded, the project's remaining cost must be included in part 5.3, Expansion Projects with No Identified Funding Source.

Though many, if not most, stormwater projects benefit both flood protection and water quality, please use your best judgment to either allocate costs or simply select the primary purpose from the two categories below.

5.2.1 Flood Protection (Committed Funding Source): Provide a list of all scheduled new work, retrofitting and upgrades related to flood protection/flood abatement. Include infrastructure such as storage basins, piping and other conveyances, land purchases for stormwater projects, *etc.* Also include major hardware purchases such as vactor/jet trucks.

5.2.2 Water Quality Projects (Committed Funding Source): Please provide a list of scheduled water quality projects in your jurisdiction, such as treatment basins, alum injection systems, green infrastructure, water quality retrofits, *etc.*, that have a direct stormwater component. The projected expenditures should reflect only those costs.

- If you are party to an adopted BMAP, please include the capital projects associated with stormwater in this table. Include BMAP project number, cost to your jurisdiction, and year(s) that capital improvement costs are to be incurred. For reference, DEP publishes a complete list of adopted BMAP projects as an appendix in their Annual STAR Report.

Expansion Projects with a Committed Funding Source

5.2.1 Flood Protection

Expenditures (in \$thousands)

Project Name	LFY 2021-2022	2022-23 to 2026-27	2027-28 to 2031-32	2032-33 to 2036-37	2037-38 to 2041-42

5.2.2 Water Quality

Expenditures (in \$thousands)

Project Name (or, if applicable, BMAP Project Number or ProjID)	LFY 2021-2022	2022-23 to 2026-27	2027-28 to 2031-32	2032-33 to 2036-37	2037-38 to 2041-42

Part 5.3 Future Expansion with No Identified Funding Source

Please provide a list of known expansion projects or anticipated need(s) without formal funding commitments(s), formal pledges, or obligations. If you included a portion of a project that was partially covered by a committed source in part 5.2 above, list the projects and their remaining costs below.

5.3.1 Future Flood Protection with No Identified Funding Source: Please provide a list of future flood protection/flood abatement projects, associated land purchases, or major hardware purchases that are needed in your jurisdiction over the next 20 years. Future needs may be based on Master Plans, Comprehensive Plan Elements, Water Control Plans, areas of frequent flooding, hydrologic and hydraulic modeling, public safety, increased frequency of maintenance, desired level of service, flooding complaints, etc.

5.3.2 Future Water Quality Projects with no Identified Funding Source: Please provide a list of future stormwater projects needed in your jurisdiction over the next 20 years that are primarily related to water quality issues. Future needs may be based on proximity to impaired waters or waters with total maximum daily loads (TMDLs), BMAPs, state adopted Restoration Plans, Alternative Restoration Plans, or other local water quality needs.

- If you are party to an adopted BMAP, please list capital projects associated with stormwater. Include BMAP project number, cost to your jurisdiction, and year(s) that capital improvement costs are to be incurred.
- List other future water quality projects, including those in support of local water quality goals as well as those identified in proposed (but not yet adopted) BMAPs.

Expansion Projects with No Identified Funding Source

5.3.1 Flood Protection

Expenditures (in \$thousands)

Project Name	LFY 2021-2022	2022-23 to 2026-27	2027-28 to 2031-32	2032-33 to 2036-37	2037-38 to 2041-42

5.3.2 Water Quality

Expenditures (in \$thousands)

Project Name (or, if applicable, BMAP Project Number or ProjID)	LFY 2021-2022	2022-23 to 2026-27	2027-28 to 2031-32	2032-33 to 2036-37	2037-38 to 2041-42

Please indicate which resources or documents you used to complete table 5.3 (check all that apply).

<input checked="" type="checkbox"/>	Stormwater Master Plan
<input checked="" type="checkbox"/>	Basin Studies or Engineering Reports
<input type="checkbox"/>	Adopted BMAP
<input type="checkbox"/>	Adopted Total Maximum Daily Load
<input type="checkbox"/>	Regional or Basin-specific Water Quality Improvement Plan or Restoration Plan
	Specify:
<input type="checkbox"/>	Other(s):

Part 5.4 Stormwater projects that are part of resiliency initiatives related to climate change

Please list any stormwater infrastructure relocation or modification projects and new capital investments specifically needed due to sea level rise, increased flood events, or other adverse effects of climate change. When aggregating, include O&M costs for these future resiliency projects and investments in this table (not in part 5.1). If your jurisdiction participates in a Local Mitigation Strategy (LMS), also include the expenditures associated with your stormwater management system in this category (for example, costs identified on an LMS project list).

Project Name	Expenditures (in \$thousands)				
	LFY 2021-2022	2022-23 to 2026-27	2027-28 to 2031-32	2032-33 to 2036-37	2037-38 to 2041-42

Project Name	Expenditures (in \$thousands)				
	LFY 2021-2022	2022-23 to 2026-27	2027-28 to 2031-32	2032-33 to 2036-37	2037-38 to 2041-42

- Has a vulnerability assessment been completed for your jurisdiction’s storm water system? No
 - If no, how many facilities have been assessed? None
- Does your jurisdiction have a long-range resiliency plan of 20 years or more? No
 - If yes, please provide a link if available:
 - If no, is a planning effort currently underway? No

Part 6.0 The estimated remaining useful life of each facility or its major components (Section 403.9302(3)(e), F.S.)

Rather than reporting the exact number of useful years remaining for individual components, this section is constructed to focus on infrastructure components that are targeted for replacement and will be major expenses within the 20-year time horizon. Major replacements include culverts and pipe networks, control structures, pump stations, physical/biological filter media, etc. Further, the costs of retrofitting when used in lieu of replacement (such as slip lining) should be included in this part. Finally, for the purposes of this document, it is assumed that open storage and conveyance systems are maintained (as opposed to replaced) and have an unlimited service life.

In order to distinguish between routine maintenance projects and the replacement projects to be included in this part, only major expenses are included here. A major expense is defined as any single replacement project greater than 5% of the jurisdiction's total O&M expenditures over the most recent five-year period (such as a project in late 2021 costing more than 5% of the O&M expenditures for fiscal years 2016-2017 to 2020-2021).

If you have more than 5 projects in a particular category, please use the "Additional Projects" tab. There, you can use dropdown lists to choose the project category and whether there is a committed funding source, then enter the project name and expenditure amounts.

End of Useful Life Replacement Projects with a Committed Funding Source

Project Name	Expenditures (in \$thousands)				
	LFY 2021-2022	2022-23 to 2026-27	2027-28 to 2031-32	2032-33 to 2036-37	2037-38 to 2041-42

End of Useful Life Replacement Projects with No Identified Funding Source

Project Name	Expenditures (in \$thousands)				
	LFY 2021-2022	2022-23 to 2026-27	2027-28 to 2031-32	2032-33 to 2036-37	2037-38 to 2041-42

Part 7.0 The most recent 5-year history of annual contributions to, expenditures from, and balances of any capital account for maintenance or expansion of any facility or its major components. (Section 403.9302(3)(f), F.S.)

This part of the template also addresses a portion of s. 403.9302(3)(g), F.S., by including historical expenditures. Many local governments refer to these as “actual” expenditures.

Consistent with expenditure projections, the jurisdiction’s actual expenditures are categorized into routine O&M, expansion, resiliency projects, and replacement of aging infrastructure. Additionally, the table includes space for reserve accounts. EDR’s interpretation of subparagraph 403.9302(3)(f), F.S., is that “capital account” refers to any reserve account developed specifically to cover future expenditures.

Note that for this table:

- Expenditures for local fiscal year 2020-21 can be estimated based on the most current information if final data is not yet available.
- Current Year Revenues include tax and fee collections budgeted for that fiscal year as well as unexpended balances from the prior year (balance forward or carry-over) unless they are earmarked for the rainy day or a dedicated reserve as explained in the following bullets.
- Bond proceeds should reflect only the amount expended in the given year.
- A reserve is a dedicated account to accumulate funds for a specific future expenditure.
- An all-purpose rainy day fund is a type of working capital fund typically used to address costs associated with emergencies or unplanned events.

The sum of the values reported in the "Funding Sources for Actual Expenditures" columns should equal the total "Actual Expenditures" amount. The cells in the "Funding Sources for Actual Expenditures" section will be highlighted red if their sum does not equal the "Actual Expenditures" total.

If you do not have a formal reserve dedicated to your stormwater system, please enter zero for the final two reserve columns.

Routine O&M

	Total	Funding Sources for Actual Expenditures					
	Actual Expenditures	Amount Drawn from Current Year Revenues	Amount Drawn from Bond Proceeds	Amount Drawn from Dedicated Reserve	Amount Drawn from All-Purpose Rainy Day Fund	Contributions to Reserve Account	Balance of Reserve Account
2016-17	Total O&M	816,923					
2017-18	Total O&M	1,022,590					
2018-19	Total O&M	961,930					
2019-20	Total O&M	868,321					
2020-21	Total O&M	566,436					

Expansion

	Total	Funding Sources for Actual Expenditures					
	Actual Expenditures	Amount Drawn from Current Year Revenues	Amount Drawn from Bond Proceeds	Amount Drawn from Dedicated Reserve	Amount Drawn from All-Purpose Rainy Day Fund	Contributions to Reserve Account	Balance of Reserve Account
2016-17							
2017-18							
2018-19							
2019-20							
2020-21							

Resiliency

	Total	Funding Sources for Actual Expenditures					
	Actual Expenditures	Amount Drawn from Current Year Revenues	Amount Drawn from Bond Proceeds	Amount Drawn from Dedicated Reserve	Amount Drawn from All-Purpose Rainy Day Fund	Contributions to Reserve Account	Balance of Reserve Account
2016-17							
2017-18							
2018-19							
2019-20							
2020-21							

Replacement of Aging Infrastructure

	Total	Funding Sources for Actual Expenditures					
	Actual Expenditures	Amount Drawn from Current Year Revenues	Amount Drawn from Bond Proceeds	Amount Drawn from Dedicated Reserve	Amount Drawn from All-Purpose Rainy Day Fund	Contributions to Reserve Account	Balance of Reserve Account
2016-17							
2017-18							
2018-19							
2019-20							
2020-21							

Part 8.0 The local government's plan to fund the maintenance or expansion of any facility or its major components. The plan must include historical and estimated future revenues and expenditures with an evaluation of how the local government expects to close any projected funding gap (Section 403.9302(3)(g), F.S.)

In this template, the historical data deemed necessary to comply with s. 403.9302(3)(g), F.S., was included in part 7.0. This part is forward looking and includes a funding gap calculation. The first two tables will be auto-filled from the data you reported in prior tables. To do this, EDR will rely on this template's working definition of projects with committed funding sources, *i.e.*, EDR assumes that all committed projects have committed revenues. Those projects with no identified funding source are considered to be unfunded. EDR has automated the calculation of projected funding gaps based on these assumptions.

Committed Funding Source	2022-23 to 2026-27	2027-28 to 2031-32	2032-33 to 2036-37	2037-38 to 2041-42
Maintenance	67	68	69	70
Expansion	0	0	0	0
Resiliency	0	0	0	0
Replacement/Aging Infrastructure	0	0	0	0
Total Committed Revenues (=Total Committed Projects)	67	68	69	70

No Identified Funding Source	2022-23 to 2026-27	2027-28 to 2031-32	2032-33 to 2036-37	2037-38 to 2041-42
Maintenance	0	0	0	0
Expansion	0	0	0	0
Resiliency	0	0	0	0
Replacement/Aging Infrastructure	0	0	0	0
Projected Funding Gap (=Total Non-Committed Needs)	0	0	0	0

For any specific strategies that will close or lessen a projected funding gap, please list them in the table below. For each strategy, also include the expected new revenue within the five-year increments.

Strategies for New Funding Sources	2022-23 to 2026-27	2027-28 to 2031-32	2032-33 to 2036-37	2037-38 to 2041-42
Total	0	0	0	0
Remaining Unfunded Needs	0	0	0	0

Additional Table Rows

Choose from the drop-down lists for Project Type and Funding Source Type, then fill in the project name and expenditure estimates.
 Rows that are highlighted RED are either missing information in a "Project & Type Information" column or have zero expenditures.
[Link to aggregated table to crosscheck category totals and uncategorized projects.](#)

Project & Type Information			Expenditures (in \$thousands)				
Project Type (Choose from dropdown list)	Funding Source Type (Choose from dropdown list)	Project Name	LFY 2021-2022	2022-23 to 2026-27	2027-28 to 2031-32	2032-33 to 2036-37	2037-38 to 2041-42

Project & Type Information			Expenditures (in \$thousands)				
Project Type (Choose from dropdown list)	Funding Source Type (Choose from dropdown list)	Project Name	LFY 2021-2022	2022-23 to 2026-27	2027-28 to 2031-32	2032-33 to 2036-37	2037-38 to 2041-42

Project & Type Information			Expenditures (in \$thousands)				
Project Type (Choose from dropdown list)	Funding Source Type (Choose from dropdown list)	Project Name	LFY 2021-2022	2022-23 to 2026-27	2027-28 to 2031-32	2032-33 to 2036-37	2037-38 to 2041-42

Project & Type Information			Expenditures (in \$thousands)				
Project Type (Choose from dropdown list)	Funding Source Type (Choose from dropdown list)	Project Name	LFY 2021-2022	2022-23 to 2026-27	2027-28 to 2031-32	2032-33 to 2036-37	2037-38 to 2041-42

Project & Type Information			Expenditures (in \$thousands)				
Project Type (Choose from dropdown list)	Funding Source Type (Choose from dropdown list)	Project Name	LFY 2021-2022	2022-23 to 2026-27	2027-28 to 2031-32	2032-33 to 2036-37	2037-38 to 2041-42

Project & Type Information			Expenditures				
Project Type	Funding Source Type		LFY 2021-2022	2022-23 to 2026-27	2027-28 to 2031-32	2032-33 to 2036-37	2037-38 to 2041-42
Expansion Projects, Flood Protection	Committed Funding Source	Aggregated Total	0	0	0	0	0
Expansion Projects, Water Quality	Committed Funding Source	Aggregated Total	0	0	0	0	0
Resiliency Projects	Committed Funding Source	Aggregated Total	0	0	0	0	0
End of Useful Life Replacement Projects	Committed Funding Source	Aggregated Total	0	0	0	0	0
Expansion Projects, Flood Protection	No Identified Funding Source	Aggregated Total	0	0	0	0	0
Expansion Projects, Water Quality	No Identified Funding Source	Aggregated Total	0	0	0	0	0
Resiliency Projects	No Identified Funding Source	Aggregated Total	0	0	0	0	0
End of Useful Life Replacement Projects	No Identified Funding Source	Aggregated Total	0	0	0	0	0

Total of Projects without Project Type and/or Funding Source Type			0	0	0	0	0
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**LAKE POWELL
RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT**

6B

WILD HERON WAY OPERATIONAL SPEED ANALYSIS

PREPARED FOR:

**LAKE POWELL RESIDENTIAL GOLF CDD
IN
BAY COUNTY, FL**



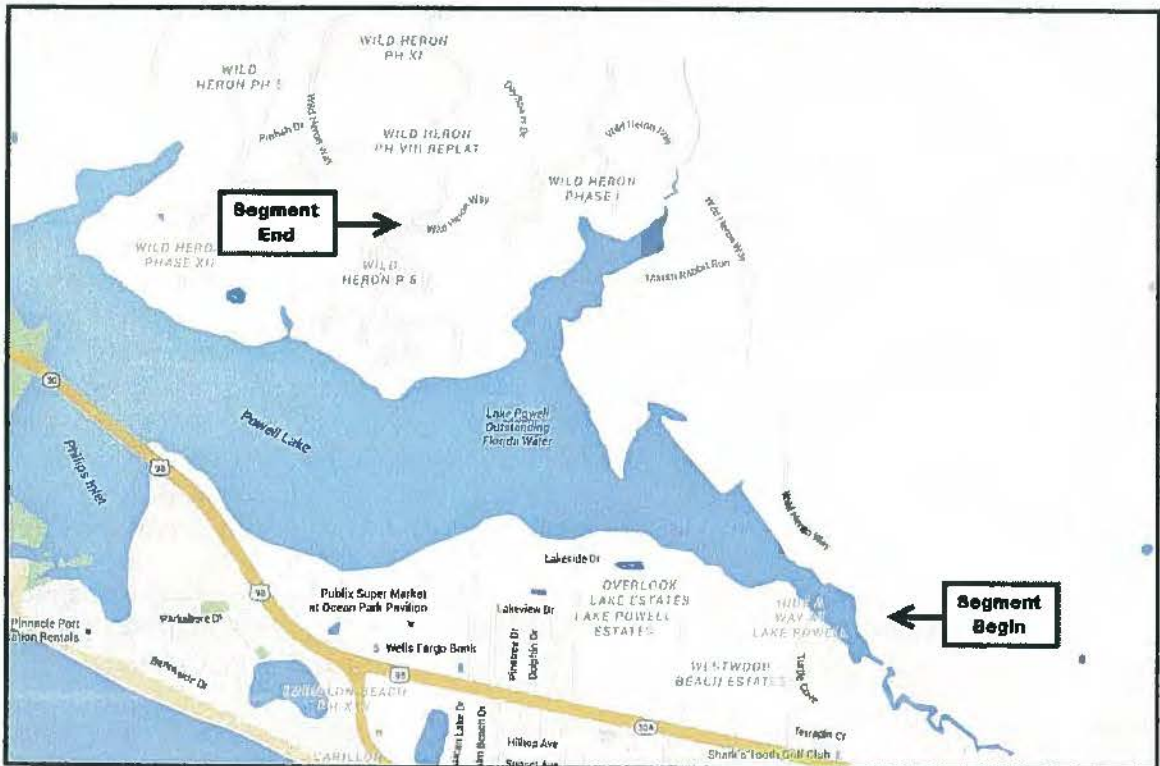
PREPARED BY:

**FLORIDA TRANSPORTATION ENGINEERING, INC. (FTE)
1369 S. RAILROAD AVENUE, SUITE C
CHIPLEY, FLORIDA 32428**

**PHILLIP KURTH, PE PTOE
SENIOR TRAFFIC ENGINEER
FL PE NO. 72434
12/10/2015**

Phillip Kurth
12/10/15

Location and Segment Map



Introduction

The Lake Powell Residential Golf Community Development District requested a Speed Zone Study to be conducted on Wild Heron Way in Bay County. *Florida Statutes 316.187 and 316.189* require that an engineering study be conducted before speed limits are altered. The FDOT has developed a manual, *Speed Zoning for Highways, Roads and Streets in Florida, 2010*, which sets forth the procedures of this engineering study. This speed zone study was conducted on Wild Heron Way in accordance with this manual.

Roadway Characteristics

The subject roadway segment is a 2-lane undivided rural residential roadway with 12-foot lane widths. There are no paved shoulders or painted edge lines along the subject roadway. The clear zone on either side of the roadway fluctuates between 15 – 30 feet. The sight distance along this roadway segment is satisfactory. According to data collected on 12/1/2015, the daily traffic volume was 1049 vpd south of the guard station and 951 vpd north / west of the guard station. There is a 90 degree horizontal curve approximately 0.38 mile north of the guard station on Wild Heron Way.

Collision Analysis

If a section of a road has experienced a high frequency of crashes, crash history data should be analyzed for contributing effects of speed. Lowering or raising the posted speed limit may be warranted, depending on predominant crash causes.

Historical crash information from January 1, 2010 to December 31, 2014 was obtained from Signal Four Analytics to determine if vehicular speed was a contributing factor in any of the crashes that might have occurred along the subject roadway segment. For the years 2010 through 2014 there were two (2) reported crashes along Wild Heron Way within the project limits. It was denoted in one (1) of crash reports that excessive vehicular speed was a contributing factor at the time of the collision. The at-fault vehicle was estimated to be traveling at 90 mph approximately 1.0 miles south of Marsh Rabbit Run.

Speed Analysis

According to the *Speed Zoning for Highways, Roads and Streets in Florida, 2010*, the measurement of prevailing speeds of free-flowing traffic during good weather and roadway conditions is the prime requisite for the investigation and the establishments of a speed limit for any roadway segment. Speed limits should normally be set at or near the prevailing or 85th percentile speed of free-flowing, unimpeded traffic. Artificially lowering speed restrictions from that level does not substantially change the actual speeds driven, it creates the perception of a speed trap and generates disrespect for speed zone and other traffic control devices in general. It is commonly accepted in speed zone engineering that roughly 85 percent of drivers maintain prudent and reasonable speed for the variety of highway conditions encountered, regardless of speed limit signs. It is for those drivers who fail to maintain prudent and reasonable speeds that speed zoning exists. Realistic speed restrictions create a more suitable environment for meaningful enforcement to take place.

A Composite Speed Study was conducted along the subject segment of Wild Heron Way on December 7, 2015. For the purposes of this study, the 2.17 mile section of Wild Heron Way was divided into two (2) sub-segments. The sub-segment breakdown is as follows:

- Sub-Segment 1: 0.25 Miles North of SR 30 (US 98) to Guard Station
- Sub-Segment 2: Guard Station to roundabout at Prospect Promenade

The data collection for each sub-segment consisted of a radar Spot Speed Study conducted in accordance with FDOT's *Manual of Uniform Traffic Studies*. The speed data was collected on a typical weekday during good weather conditions and normal roadway operations. The speed data obtained for Sub-Segment 1 was collected between 0.37 miles south of the guard station. The speed data obtained for Sub-Segment 2 was collected 0.72 miles north / west of the guard station. Raw speed data may be found in the study appendix. The results for the radar speed checks are displayed in the following Tables:

TABLE 1		
Wild Heron Way Radar Speed Data		
Sub-Segment 1: 0.37 Miles South of the Guard Station		
Direction	NB	SB
Posted Speed Limit	25	25
85 Percentile Speed	41.7	42.9
10 MPH Pace	31 - 40	36 - 45
Average Speed	36.4	38.4
Highest Recorded Speed	46	47
% Exceeding Posted Speed	100.00	100.00

TABLE 2		
Wild Heron Way Radar Speed Data		
Sub-Segment 2: 0.72 Miles North / West of the Guard Station		
Direction	EB	WB
Posted Speed Limit	25	25
85 Percentile Speed	36.3	34.6
10 MPH Pace	26 - 35	28 - 37
Average Speed	31.9	30.3
Highest Recorded Speed	43	39
% Exceeding Posted Speed	97.67	88.89

According to Section 9 of the *Manual on Speed Zoning for Highways, Roads, and Streets in Florida*, a speed limit should not differ from the 85th percentile speed, or the upper limit of the 10 mph Pace Speed by more than 3 mph and it shall not be less than 8 mph. A speed limit of 4 to 8 mph less than the 85th percentile speed shall be supported by a supplemental investigation which shows there are road or roadside features not readily obvious to the normally prudent driver, such as length of section, alignment, roadway width, surface condition, sight distance, traffic volume, crash experience, maximum comfortable speed in curves, side street friction, 0.72 miles north / west of the guard station, design speed, etc.

Supplemental Investigation

As previously stated, *there are no paved shoulders or painted edge lines along the subject roadway*. In addition, there is a 90 degree horizontal curve approximately 0.38 mile north of the guard station on Wild Heron Way.

Wild Heron Way
Bay County
December 10, 2015

Recommendations

Based on the guidelines set forth by the *Manual on Speed Zoning for Highways, Roads, and Streets in Florida*, and the Supplemental Investigation, it is **recommended that the current posted speed of 25 MPH be raised to 35 MPH on Wild Heron Way from 0.25 miles north of SR 30 (US 98) to the Guard Station.** Furthermore, it is **recommended that the current posted speed of 25 MPH be raised to 30 MPH on Wild Heron Way from the Guard Station to 250 feet east of the roundabout at Prospect Promenade.** Finally, it is recommended that a Horizontal Alignment Advisory Speed Sign (MUTCD W1-1a) of 25 MPH should be posted, in both directions, 500 feet in advance of the 90 degree horizontal curve located approximately 0.38 mile north of the guard station on Wild Heron Way.

Enforcement

The enforcement of these speed limits will be the responsibility of the Bay County Sheriff's Office.

Phillip Kurth, PE PTOE
12/10/2015

APPENDIX

**WILD HERON WAY – 0.37 MILES SOUTH OF GUARD STATION
LOOKING NORTH**



WILD HERON WAY – 0.37 MILES SOUTH OF GUARD STATION LOOKING SOUTH



**WILD HERON WAY - 0.72 MILES NORTH / WEST OF GUARD STATION
LOOKING WEST**



**WILD HERON WAY - 0.72 MILES NORTH / WEST OF GUARD STATION
LOOKING EAST**



DATA COLLECTION SUMMARY SHEET																
LOCATION:	WILD HERON WAY															
COUNTY:	BAY															
SECTION:	N/A															
MP:	0.37 MILES SOUTH OF GAURDHOUSE															
STUDY DATE:	12/3/2015															
POSTED SPEED	25 MPH															
<p>SPEED DATA SUMMARY</p> <table border="1" style="margin: auto; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">SPEED DATA</th> <th style="text-align: center;">NB</th> <th style="text-align: center;">SB</th> </tr> </thead> <tbody> <tr> <td>85%</td> <td style="text-align: center;">43.7</td> <td style="text-align: center;">42.9</td> </tr> <tr> <td>Average</td> <td style="text-align: center;">38.6</td> <td style="text-align: center;">38.4</td> </tr> <tr> <td>%exceeding</td> <td style="text-align: center;">100%</td> <td style="text-align: center;">100%</td> </tr> <tr> <td>Highest</td> <td style="text-align: center;">46</td> <td style="text-align: center;">47</td> </tr> </tbody> </table>		SPEED DATA	NB	SB	85%	43.7	42.9	Average	38.6	38.4	%exceeding	100%	100%	Highest	46	47
SPEED DATA	NB	SB														
85%	43.7	42.9														
Average	38.6	38.4														
%exceeding	100%	100%														
Highest	46	47														
FIELD OBSERVATIONS:	Low Volume Roadway															

Wild Heron Way
Bay County
December 10, 2015

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION															
VEHICLE SPOT SPEED STUDY															
LOCATION ID: WILD HERON WAY SOUTH OF GAURDHOUSE										SECTION: N/A					
LOCATION: 0.97 MILES N. OF US 98										MP: 0.37 MILES S. OF GUARD HOUSE					
POSTED SPEED (mph): 25										COUNTY: BAY					
DATE: 12/7/2015										PAVEMENT CONDITION: DRY					
OBSERVER: J. GRUBB										TIME FROM: 7:30 AM				TIME TO: 11:30 AM	
REMARKS															
DIR.	NUMBER OF VEHICLES					SPEED (mph)	NUMBER OF VEHICLES					BOTH DIRECTIONS			
	TOTAL	20	25	30	35		20	25	30	35	TOTAL			CURR. TOTAL	
51	0					>40							0	49	
51	0					65							0	45	
51	0					64							0	49	
51	0					63							0	49	
51	0					62							0	46	
51	0					61							0	49	
51	0					60							0	49	
51	0					59							0	49	
51	0					58							0	49	
51	0					57							0	49	
51	0					56							0	49	
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51	0					52							0	49	
51	0					51							0	49	
51	0					50							0	49	
51	0					48							0	49	
51	0					47	1						1	49	
51	1					46							0	48	
50	1				1	45	1	1	1				4	48	
46	3				1 1 1	44	1	1					2	44	
46	2				1 1	43	1	1	1				3	42	
44	2				1 1	42	1	1	1	1			4	39	
40	2				1 1	41	1	1	1	1	1		6	35	
40	3				1 1 1	40	1	1	1				3	29	
37	2				1 1	39	1	1					2	26	
35	5				1 1 1 1 1	38	1	1	1	1			4	24	
30	3				1 1 1	37	1	1	1	1			4	20	
27	4				1 1 1 1	36	1	1	1				3	16	
23	4				1 1 1 1	35	1	1					2	12	
20	3				1 1 1	34	1						1	11	
16	3				1 1 1	33	1	1					2	10	
12	5				1 1 1 1 1	32	1	1	1	1			4	9	
6	3				1 1 1	31	1						1	8	
5	2				1 1	30	1	1					2	3	
3	0					29							0	1	
3	1				1	28							0	1	
2	2				1 1	27	1						1	1	
0	0					26							0	0	
0	0					25							0	0	
0	0					25							0	0	
0	0					25							0	0	
51	52					25							0	0	
TOTALS												46	49		
SPEED DATA SUMMARY		NB				SB				BOTH DIRECTIONS					
85th PERCENTILE SPEED		41.7				42.9				ENGINEER: CHAISE STANTON					
10 MPH PACE		31 - 40				36 - 45				DATE: December 7th, 2015					

DATA COLLECTION SUMMARY SHEET

LOCATION:	WILD HERON WAY
COUNTY:	BAY
SECTION:	N/A
MP:	0.72 MILES N OF GAURHOUSE
STUDY DATE:	12/3/2015
POSTED SPEED:	25 MPH

SPEED DATA SUMMARY

SPEED DATA	EB	WB
85%	36.3	34.6
Average	31.9	30.3
Percentages	97.67%	88.89%
Highest	43	39

FIELD OBSERVATIONS Low Volume Roadway

Wild Heron Way
Bay County
December 10, 2015

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION																		
VEHICLE SPOT SPEED STUDY																		
LOCATION ID: WILD HERON WAY N. OF GAURDHOUSE											SECTION: N/A							
LOCATION: 2.05 MILES N. OF US 98											MP: 0.72 MILES N. OF GAURDHOUSE							
POSTED SPEED (mph): 25											COUNTY: BAY							
DATE: 12/7/2015											PAVEMENT CONDITION: DRY							
OBSERVER: J. GRUBB											TIME FROM: 12:30 PM				TIME TO: 4:30 PM			
REMARKS:																		
SPEED	NUMBER OF VEHICLES EB							SPEED (mph)	NUMBER OF VEHICLES WB							BOTH DIRECTIONS		
	TOTAL	20	25	30	35	40	45		20	TOTAL	25	30	35	40	45	TOTAL	COM. TOTAL	
>45															0	45		
45	0														0	45		
44	0														0	45		
43	0														0	45		
42	0														0	45		
41	0														0	45		
40	0														0	45		
39	0														0	45		
38	0														0	45		
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9	0														0	45		
8	0														0	45		
7	0														0	45		
6	0														0	45		
5	0														0	45		
4	0														0	45		
3	0														0	45		
2	0														0	45		
1	0														0	45		
0	0														0	45		
TOTALS	43						43								46	45		

SPEED DATA SUMMARY	EB	WB	BOTH DIRECTIONS	ENGINEER: CHASE STANTON DATE: December 7th, 2015	
	85th PERCENTILE SPEED	36.3	34.6		-
	10 MPH PACE	26 - 35	28 - 37		-

**LAKE POWELL
RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT**

6C



INSPECTION REPORT SUBMITTAL MEMORANDUM

TO: Cindy Cerbone
District Manager
Wrathell, Hunt and Associates, LLC
2300 Glades Road # 410W
Boca Raton, FL 33431

DATE: May 31, 2022
CONSOR JOB NO.: 18008FL03.00

RE: D3 Local Government Bridge Inspection - Contract No: CA058
Financial ID Nos: 224859-1-72-11, 224858-1-72-11

We are pleased to submit the following final inspection reports:

TRANSMITTED VIA:

US Mail UPS Hand Delivery Pick Up Other: Email

BRIDGE #	Inspection Date	Inspection Type
460167	2/28/2022	Initial

CONSOR Engineers, LLC

Andrea N. Little
Project Coordinator

FLORIDA DEPARTMENT OF TRANSPORTATION
BRIDGE MANAGEMENT SYSTEM
Inspection/CIDR/Bridge Profile Report
Inspection

Structure ID: 460167

DISTRICT: D3 - Chipley

INSPECTION DATE: 2/28/2022 IUVI

BY: Consor Engineers, LLC	STRUCTURE NAME: Not recorded
OWNER: 26 Private(nonRailroad)	YEAR BUILT: 2022
MAINTAINED BY: 26 Private(nonRailroad)	SECTION NO.: 46 000 000
STRUCTURE TYPE: 1 Reinforced Concrete - 22 Channel Beam	MP: 0.300
LOCATION: 0.3 Miles N of SR30A/US98	ROUTE: 00000
SERV. TYPE ON: 1 Highway	FACILITY CARRIED: Wild Heron Way
SERV. TYPE UNDER: 5 Waterway	FEATURE INTERSECTED: Powell Lake

 FUNCTIONALLY OBSOLETE STRUCTURALLY DEFICIENT

TYPE OF INSPECTION: Regular NBI

DATE FIELD INSPECTION WAS PERFORMED: ABOVE WATER: 2/28/2022 UNDERWATER: 2/28/2022

SUFFICIENCY RATING: 79.7
HEALTH INDEX: 86.97

This report contains information relating to the physical security of a structure and depictions of the structure. This information is confidential and exempt from public inspection pursuant to sections 119.071(3)(a) and 119.071(3)(b), Florida Statutes. Only the cover page of this report may be inspected and copied.

**FLORIDA DEPARTMENT OF TRANSPORTATION
BRIDGE MANAGEMENT SYSTEM
Inspection/CIDR/Bridge Profile Report
Inspection**

Structure ID: 460167

DISTRICT: D3 - Chipley

INSPECTION DATE: 2/28/2022 IUVI

BY: Consor Engineers, LLC	STRUCTURE NAME: Not recorded
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SERV. TYPE ON: 1 Highway	FACILITY CARRIED: Wild Heron Way
SERV. TYPE UNDER: 5 Waterway	FEATURE INTERSECTED: Powell Lake

- THIS BRIDGE CONTAINS FRACTURE CRITICAL COMPONENTS
- THIS BRIDGE IS SCOUR CRITICAL
- THIS REPORT IDENTIFIES DEFICIENCIES WHICH REQUIRE PROMPT CORRECTIVE ACTION
- FUNCTIONALLY OBSOLETE STRUCTURALLY DEFICIENT

TYPE OF INSPECTION: Regular NBI
 DATE FIELD INSPECTION WAS PERFORMED: ABOVE WATER: 2/28/2022 UNDERWATER: 2/28/2022

OVERALL NBI RATINGS:

DECK: 7 Good	CHANNEL: 6 Bank Slumping
SUPERSTRUCTURE: 5 Fair	CULVERT: N N/A (NBI)
SUBSTRUCTURE: 5 Fair	SUFF. RATING: 79.7
PERF. RATING: Fair	HEALTH INDEX: 86.97

FIELD PERSONNEL / TITLE / NUMBER:

INITIALS

Stewart, Joseph - Bridge Inspector (CBI #00631) (lead)	_____
Hithens, Joseph - Assistant Bridge Inspector	_____
Lane, Jeffrey - Bridge Inspector (CBI# 00545) / Lead Diver	_____ JL _____
Diaz, Daniel - Assistant Bridge Inspector / Diver	_____
Harrison, Andrew - Assistant Bridge Inspector / Diver	_____
Fabian, Marco - Assistant Bridge Inspector / Diver	_____

REVIEWING BRIDGE INSPECTION SUPERVISOR:

Akers, Matt - Bridge Inspector (CBI#00386) _____ MA _____

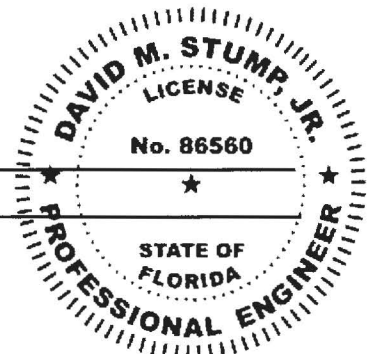
CONFIRMING REGISTERED PROFESSIONAL ENGINEER:

Stump, Jr., David M. - Professional Engineer (#86560) CONSOR Engineers, LLC
 2121 Old Hickory Tree Road
 Registry No. 6876
 Saint Cloud FL 34772

This item has been digitally signed and sealed by:
 David M Stump Jr.
 2022 04 28

SIGNATURE: _____
 DATE: _____ 16:34:45-04'00'

on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



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FLORIDA DEPARTMENT OF TRANSPORTATION
BRIDGE MANAGEMENT SYSTEM
Inspection/CIDR/Bridge Profile Report
Inspection

Structure ID: 460167

DISTRICT: D3 - Chipley

INSPECTION DATE: 2/28/2022 IUVI

All Elements

DECKS : Decks/Slabs

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	12 / 4	Re Concrete Deck	10197	97.99	209	2.01	0	.	0	.	10406 sq.ft
0	1090 / 4	Exposed Rebar	0	.	1	100	0	.	0	.	1 sq.ft
0	1130 / 4	Cracking (RC and Other)	0	.	208	100	0	.	0	.	208 sq.ft
0	510 / 4	Wearing Surfaces	9365	90	0	.	1041	10	0	.	10406 sq.ft
0	3220 / 4	Crack (Wearing Surface)	0	.	0	.	1041	100	0	.	1041 sq.ft

Element Inspection Notes:

12/4

CONDITION STATE 2

NEW:

- 1) The underside of Span 1 has exposed steel, up to 0.33 ft long, on the left side, adjacent to Beam 1-1, due to insufficient cover. (1090 - 1 SF)
- 2) The underside of the deck overhang has transverse cracks, 2.0 ft L x 0.02 in W, with efflorescence. (1130 - 208 SF)

NOTES

NEW:

- 1) Approach guardrails are not provided (See Photo 1).
- 2) Object markers are not provided (See Photo 1).
- 3) There is dirt and debris buildup along the shoulders (See Photo 2).
- 4) The roadway striping has faded.
- 5) There are four utility pipes connected to the deck underside attached in all spans to the following beams: Beams 2, 3, 10, and 11 (See Photo 3).

1090/4

-

1130/4

-

510/4

CONDITION STATE 3

NEW:

- 1) The asphalt overlay has longitudinal cracking, full length x 0.13 in W, in the travel lanes (See Photo 4). (3220 - 1041 SF)

3220/4

-

DECKS : Joints

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	301 / 4	Pourable Joint Seal	301	100	0	.	0	.	0	.	301 ft

Element Inspection Notes:

301/4

NOTES

NEW:

- 1) Joints are not visible due to asphalt overlay.

MISCELLANEOUS : Channel

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	8290 / 4	Channel	1	100	0	.	0	.	0	.	1 (EA)

Element Inspection Notes:

8290/4

No Notes

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FLORIDA DEPARTMENT OF TRANSPORTATION
BRIDGE MANAGEMENT SYSTEM
Inspection/CIDR/Bridge Profile Report
Inspection

Structure ID: 460167

DISTRICT: D3 - Chipley

INSPECTION DATE: 2/28/2022 IUVI

MISCELLANEOUS : Other Elements

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	321 / 4	Re Conc Approach Slab	1002	100	0	.	0	.	0	.	1002 sq.ft
0	510 / 4	Wearing Surfaces	1002	100	0	.	0	.	0	.	1002 sq.ft

Element Inspection Notes:

321/4

NOTES

NEW:

1) There are transverse cracks, full length x 0.13 in W, at both roadway/approach slab transitions (See Photo 5).

510/4

No Notes

MISCELLANEOUS : Other Elements

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	8475 / 4	R/Conc Walls	61	95.31	0	.	3	4.69	0	.	64 ft
0	1080 / 4	Delamination/Spall/Patched Area	0	.	0	.	3	100	0	.	3 ft

Element Inspection Notes:

8475/4

CONDITION STATE 3

NEW:

1) The near left wingwall has a spall, 1.67 ft H x 0.21 ft W x 0.08 ft D, in the far right corner of the third pile (See Photo 6). (1080 - 1 FT)

2) The near left wingwall has a spall, 1.17 ft H x 0.42 ft W x 0.21 ft D, in the top southwest corner of the fourth pile (See Photo 6). (1080 - 1 FT)

3) The near right wingwall has a spall, 1.0 ft H x 0.29 ft W x 0.13 ft D, in the near left corner of the fourth pile (See Photo 7). (1080 - 1 FT)

1080/4

-

SUBSTRUCTURE : Substructure

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	215 / 4	Re Conc Abutment	66	76.74	12	13.95	8	9.3	0	.	86 ft
0	1080 / 4	Delamination/Spall/Patched Area	0	.	0	.	3	100	0	.	3 ft
0	1090 / 4	Exposed Rebar	0	.	0	.	5	100	0	.	5 ft
0	1130 / 4	Cracking (RC and Other)	0	.	12	100	0	.	0	.	12 ft

Element Inspection Notes:

215/4

CONDITION STATE 2

NEW:

1) There are diagonal cracks, up to 4.0 ft L x 0.02 in W, in the near backwall. (1130 - 9 FT)

2) Abutment Cap 1 has map cracking, up to 3.0 ft L x 0.02 in W, in the outside face with efflorescence. (1130 - 3 FT)

CONDITION STATE 3

NEW:

1) The near backwall has a spall, 1.5 ft H x 0.17 ft W x 0.25 in D, with exposed steel due to insufficient cover (See Photo 8). (1080 - 1 FT)

2) The near backwall has a spall, 0.58 ft H x 0.17 ft W x 0.25 in D, at ground level between Piles 1-4 and 1-5, with exposed steel, 0.58 ft long, and 50% section loss (See Photo 9). (1090 - 1 FT)

3) The far backwall has a spall, 3.5 ft L x 0.25 ft W x 0.25 ft D, between Piles 7-3 and

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FLORIDA DEPARTMENT OF TRANSPORTATION
BRIDGE MANAGEMENT SYSTEM
Inspection/CIDR/Bridge Profile Report
Inspection

Structure ID: 460167

DISTRICT: D3 - Chipley

INSPECTION DATE: 2/28/2022 IUVI

7-4, with one piece of exposed steel and 30% section loss (See Photo 10). (1090 - 4 FT)
 4) The far backwall has a spall, 0.50 ft H x 1.0 ft L x 0.08 ft D, with exposed steel (See Photo 11). (1080 - 1 FT)
 5) Abutment Cap 7 has a spall, 0.67 ft L x 0.17 ft H x 0.50 in D, under Beam 4 (See Photo 12). (1080 - 1 FT)

NOTES

NEW:

1) The far backwall has cracking/delaminations in the skim coating.

1080/4 -

1090/4 -

1130/4 -

SUBSTRUCTURE : Substructure

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	227 / 4	Re Conc Pile	0	.	35	71.43	14	28.57	0	.	49 (EA)
0	1080 / 4	Delamination/Spall/Patched Area	0	.	35	85.37	6	14.63	0	.	41 (EA)
0	1130 / 4	Cracking (RC and Other)	0	.	0	.	8	100	0	.	8 (EA)

Element Inspection Notes:

227/4

CONDITION STATE 2

NEW:

- 1) All piles have abrasion, 0.04 in deep, in the splash zone. (1190 - NO QTY)
- 2) There are spalls, 0.42 ft diameter x 0.50 in deep, throughout all piles. (1080 - 34 EA)
- 3) Pile 7-3 has a patch, 1.0 ft H X 0.33 ft W, in the near right corner. (1080 - 1 EA)

CONDITION STATE 3

NEW:

- 1) Pile 2-3 has a spall, 0.50 ft H x 0.21 ft W x 0.50 in D, 5.0 ft below the bent cap (See Photo 13). (1080 - 1 EA)
- 2) Pile 2-7 has a crack, 0.06 in wide, in the far left side (See Photo 14). (1130 - 1 EA)
- 3) Piles 3-2, 3-3, 5-1 and 5-2 have a vertical cracks, 1.0 ft H x 0.06 in W, starting at the channel bottom on the right face (See Photo 14). (1130 - 3 EA)
- 4) Pile 3-4 has cracks, 0.06 in wide, in the left and right face with corrosion bleed out (See Photo 15). (1130 - 1 EA)
- 5) Pile 5-1 has a spall, 0.67 ft H x 0.17 ft W x 0.50 in D, 4.0 ft below the bent cap on the far right corner (See Photo 13). (1080 - 1 EA)
- 6) Pile 5-3 has a vertical crack, 1.0 ft H x 0.06 in W, starting at the channel bottom on the right face, with corrosion bleed out (See Photo 15). (1130 - 1 EA)
- 7) Pile 5-4 has a spall, 0.50 ft H x 0.25 ft W x 0.08 ft D, 5.0 ft below the bent cap on the far right corner (See Photo 13). (1080 - 1 EA)
- 8) Pile 5-6 has a failing patch, 0.33 ft H X 0.42 ft W, at the bent cap on the near right corner (See Photo 16). (1080 - 1 EA)
- 9) Pile 7-1 has a spall, 0.75 ft H x 0.50 ft W x 0.17 ft D, 0.50 ft below the bent cap on the near left corner, with one piece of exposed steel (See Photo 17). (1080 - 1 EA)
- 10) Piles 7-1, 7-4, and 7-5 have a cracks, 1.0 ft H x 0.06 in W, starting at the channel bottom on the near face (See Photo 14). (1130 - 2 EA)
- 11) Pile 7-7 has a failing patch, 1.58 ft H x 0.33 ft W, in the far right corner adjacent to the far backwall (See Photo 16). (1080 - 1 EA)

1080/4 -

1130/4 -

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FLORIDA DEPARTMENT OF TRANSPORTATION
BRIDGE MANAGEMENT SYSTEM
Inspection/CIDR/Bridge Profile Report
Inspection

Structure ID: 460167

DISTRICT: D3 - Chipley

INSPECTION DATE: 2/28/2022 IUVI

SUBSTRUCTURE : Substructure

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	234 / 4	Re Conc Pier Cap	182	84.65	23	10.7	10	4.65	0	.	215 ft
0	1080 / 4	Delamination/Spall/Patched Area	0	.	1	100	0	.	0	.	1 ft
0	1130 / 4	Cracking (RC and Other)	0	.	22	68.75	10	31.25	0	.	32 ft

Element Inspection Notes:

234/4 CONDITION STATE 2

NEW:

1) There are vertical cracks, up to 2.0 ft H x 0.02 in W, with efflorescence randomly throughout the bent caps. (1130 - 22 FT)

2) Bent Cap 4 has a spall, 0.33 ft H x 0.42 ft L x 0.08 ft D, in the far right face. (1080 - 1 FT)

CONDITION STATE 3

NEW:

1) The left end of Bent Cap 6 has a crack, 0.06 in wide, extending around the near and far faces (See Photo 18). (1130 - 10 FT)

1080/4 -

1130/4 -

SUPERSTRUCTURE : Bearings

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	310 / 4	Elastomeric Bearing	288	100	0	.	0	.	0	.	288 each

Element Inspection Notes:

310/4 No Notes

SUPERSTRUCTURE : Superstructure

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	110 / 4	Re Conc Opn Girder/Beam	2767	97.29	0	.	77	2.71	0	.	2844 ft
0	1080 / 4	Delamination/Spall/Patched Area	0	.	0	.	32	100	0	.	32 ft
0	1090 / 4	Exposed Rebar	0	.	0	.	40	100	0	.	40 ft
0	1130 / 4	Cracking (RC and Other)	0	.	0	.	5	100	0	.	5 ft

Element Inspection Notes:

110/4 CONDITION STATE 1

NEW:

1) All beams have hairline vertical cracks, up to 1.67 ft H x 0.01 in W, in both faces of each leg, imitating from bolt connection hardware at midspan.

CONDITION STATE 3

NEW:

1) Beam 1-1, left leg has a spall, 0.33 ft L x 0.67 ft W x 0.08 ft D, adjacent to the abutment, with exposed steel, 0.33 ft long (See Photo 19). (1080 - 1 FT)

2) Beam 1-6, right leg has a spall, 1.0 ft H x 0.67 ft L x 0.17 (See Photo 20). (1080 - 1 FT)

3) Beam 1-8, left leg has a spall, 0.92 ft L x 0.67 ft W x 0.08 ft D, at Bent Cap 2 in the bottom face (See Photo 21). (1080 - 1 FT)

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DISTRICT: D3 - Chipley

INSPECTION DATE: 2/28/2022 IUVI

- 4) Beam 2-11, left leg has a spall, 0.83 ft H x 0.17 ft L x 0.17 ft D, 5.0 ft from Bent Cap 3 in the left face, with two pieces of exposed steel, up to 0.17 ft long, with no section loss (See Photo 22). (1080 - 1 FT)
- 5) Beam 4-5, right leg has a spall, 0.83 ft L x 0.58 ft W x 0.50 in D, 7.0 ft from Bent Cap 4 in the bottom face, with two pieces of exposed steel (See Photo 22). (1080 - 1 FT)
- 7) The bottom left face of Beam 4-12 has a spall/delamination, full length x 0.58 ft H x 0.13 ft D, with two areas of exposed steel, 2.0 ft long, with 10% section loss (See Photo 23). (1090 - 40 FT)
- 6) Beam 5-1, left leg has a longitudinal crack, 0.13 in wide, adjacent to midspan diaphragm and extending to the bent cap, with corrosion bleed out (See Photo 24). (1130 - 5 FT)
- 8) Beam 5-12, right leg has a spall/delamination, 25.0 ft L x 0.83 ft H x 0.17 ft D, with seven exposed stirrups and one longitudinal piece of rebar (See Photo 25). (1080 - 25 FT)
- 9) Beam 6-4, right leg has a spall, 1.5 ft L x 0.50 ft W x 0.08 ft D, 15.0 ft from Bent Cap 6 (See Photo 26). (1080 - 2 FT)

NOTES

NEW:

- 1) The diaphragm of Beam 1-3 is delaminated, 2.08 ft W x 1.08 ft H, adjacent to the near abutment.
- 2) The midspan diaphragm of Beam 3-8 has a delamination, 0.25 ft H x 1.17 ft W, in the near face.
- 3) The midspan diaphragm of Beam 5-5 has a spall, 0.42 ft L x 0.83 ft W x 0.50 in D, in the bottom face (See Photo 27).
- 4) The midspan diaphragm of Beam 5-8 has a spall/delamination, 0.42 ft L x 0.83 ft W, in the bottom face (See Photo 27).

1080/4 -

1090/4 -

1130/4 -

SUPERSTRUCTURE : Superstructure

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	331 / 4	Re Conc Bridge Railing	453	93.6	30	6.2	1	0.21	0	.	484 ft
0	1120 / 4	Efflorescence/Rust Staining	0	.	0	.	1	100	0	.	1 ft
0	1130 / 4	Cracking (RC and Other)	0	.	30	100	0	.	0	.	30 ft

Element Inspection Notes:

331/4 CONDITION STATE 2

NEW:

- 1) There are vertical cracks, full height x 0.02 in W, throughout the bridge rails.(1130 - 30 FT)

CONDITION STATE 3

NEW:

- 1) The right bridge rail has an area of corrosion bleed out in Span 4 (See Photo 28). (1120 - 1 FT)

1120/4 -

1130/4 -

Total Number of Elements*: 11

*excluding defects/protective systems

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BRIDGE MANAGEMENT SYSTEM
Inspection/CIDR/Bridge Profile Report
Inspection

Structure ID: 460167

DISTRICT: D3 - Chipley

INSPECTION DATE: 2/28/2022 IUVI

Inspector Recommendations

UNIT: 0**DECKS****ELEMENT/ENV: 12 / 4 Re Concrete Deck****ELEM CATEGORY: Decks/Slabs**

CONDITION STATE		PRIORITY
1, 2	MMS Quantity: 1 sf Element Estimated Quantity: 1 sq.ft	3
WORK ORDER RECOMMENDATION: Approach guardrails; install rail system to meet current state standards.		
1, 2	MMS Quantity: 1 sf Element Estimated Quantity: 1 sq.ft	3
WORK ORDER RECOMMENDATION: Object markers; install at all four bridge corners.		

ELEMENT/ENV: 12:510:3220 / 4 Crack (Wearing Surface)**ELEM CATEGORY: Decks/Slabs**

CONDITION STATE		PRIORITY
3	MMS Quantity: 1 sf Element Estimated Quantity: 1041 sq.ft	3
WORK ORDER RECOMMENDATION: Deck asphalt overlay; seal longitudinal cracks.		

UNIT: 0**MISCELLANEOUS****ELEMENT/ENV: 321 / 4 Re Conc Approach Slab****ELEM CATEGORY: Other Elements**

CONDITION STATE		PRIORITY
1	MMS Quantity: 1 sf Element Estimated Quantity: 1 sq.ft	3
WORK ORDER RECOMMENDATION: Approach roadway/slab transition; seal transvers cracks.		

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Inspection**

Structure ID: 460167

DISTRICT: D3 - Chipley

INSPECTION DATE: 2/28/2022 IUVI

Inspector Recommendations

UNIT: 0 SUBSTRUCTURE

ELEMENT/ENV: 215:1080 / 4 Delamination/Spall/Patched Area

ELEM CATEGORY: Substructure

CONDITION
STATE

PRIORITY

3 MMS Quantity: 1 mh Element Estimated Quantity: 2 ft

3

WORK ORDER RECOMMENDATION:

Backwalls; clean and patch spalls with exposed steel.

ELEMENT/ENV: 215:1090 / 4 Exposed Rebar

ELEM CATEGORY: Substructure

CONDITION
STATE

PRIORITY

3 MMS Quantity: 1 mh Element Estimated Quantity: 5 ft

3

WORK ORDER RECOMMENDATION:

Backwalls; clean and patch spalls with exposed steel and section loss.

ELEMENT/ENV: 227:1080 / 4 Delamination/Spall/Patched Area

ELEM CATEGORY: Substructure

CONDITION
STATE

PRIORITY

2, 3 MMS Quantity: 1 mh Element Estimated Quantity: 1 (EA)

3

WORK ORDER RECOMMENDATION:

Pile 7-1; clean and patch spall with exposed steel.

ELEMENT/ENV: 227:1130 / 4 Cracking (RC and Other)

ELEM CATEGORY: Substructure

CONDITION
STATE

PRIORITY

3 MMS Quantity: 1 mh Element Estimated Quantity: 2 (EA)

0

WORK ORDER RECOMMENDATION:

Piles 3-4 and 5-3; clean and epoxy inject cracks.

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Structure ID: 460167

DISTRICT: D3 - Chipley

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Inspector Recommendations

UNIT: 0 **SUPERSTRUCTURE****ELEMENT/ENV: 110:1080 / 4 Delamination/Spall/Patched Area****ELEM CATEGORY: Superstructure**

CONDITION STATE		PRIORITY
3	MMS Quantity: 1 mh Element Estimated Quantity: 27 ft	3
WORK ORDER RECOMMENDATION: Beams 2-11 4-5 and 5-12; clean and patch spalls with exposed steel.		

ELEMENT/ENV: 110:1090 / 4 Exposed Rebar**ELEM CATEGORY: Superstructure**

CONDITION STATE		PRIORITY
3	MMS Quantity: 1 mh Element Estimated Quantity: 40 ft	3
WORK ORDER RECOMMENDATION: Beam 4-12; clean and patch spall with exposed steel and section loss.		

ELEMENT/ENV: 110:1130 / 4 Cracking (RC and Other)**ELEM CATEGORY: Superstructure**

CONDITION STATE		PRIORITY
3	MMS Quantity: 1 mh Element Estimated Quantity: 5 ft	3
WORK ORDER RECOMMENDATION: Beam 5-1; epoxy inject crack.		

Structure Notes

Bridge entered 3/16/2022 1:59:08 PM by userid KNIEIDS

INSPECTION NOTES: **IUVI** **2/28/2022**

Sufficiency Rating Calculation Accepted by KNIEIAN at 4/28/2022 3:24:15 PM
UW TANK = 2/28/22

TRAFFIC RESTRICTIONS: The bridge is not posted. Based on our initial (2022) field inspection and the 2022 load capacity analysis, posting restrictions are not considered necessary at this time.

The load rating currently filed in the Department's Electronic Document Management System, sealed on 4/28/2022 by David M. Stump, Jr., P.E., was reviewed by David M. Stump, Jr., P.E., and found to be complete and applicable.

FLORIDA DEPARTMENT OF TRANSPORTATION
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12 - Re Concrete Deck

Photo 1: Approach guardrails and object markers are not provided



12 - Re Concrete Deck

Photo 2: Dirt and debris along deck shoulders

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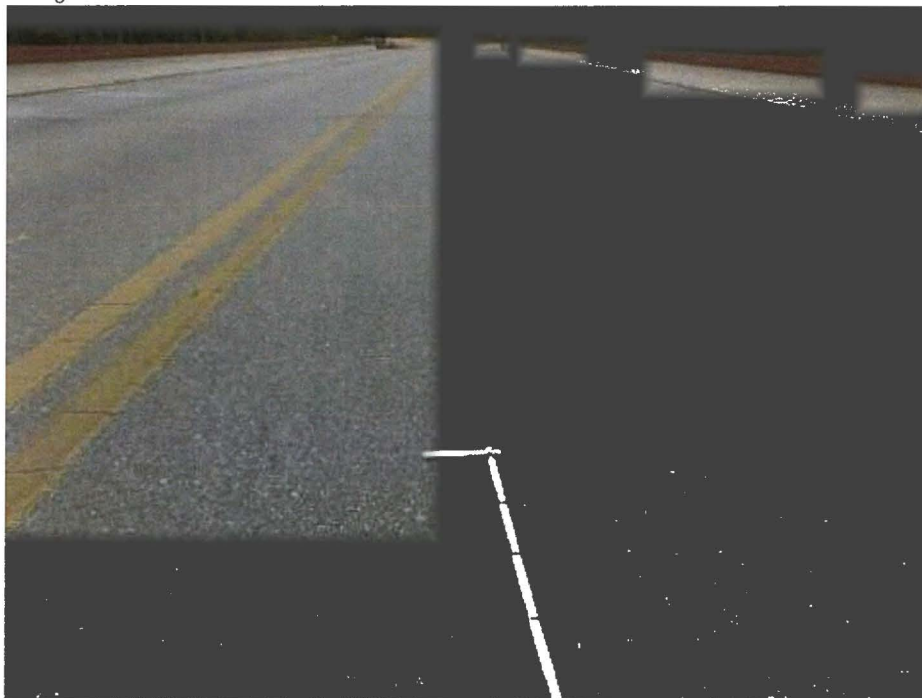
DISTRICT: D3 - Chipley

INSPECTION DATE: 2/28/2022 IUVI



12 - Re Concrete Deck

Photo 3: Typical utility pipe along deck underside



12 - Re Concrete Deck (510 - Wearing Surfaces)

Photo 4: Typical longitudinal crack in deck asphalt overlay

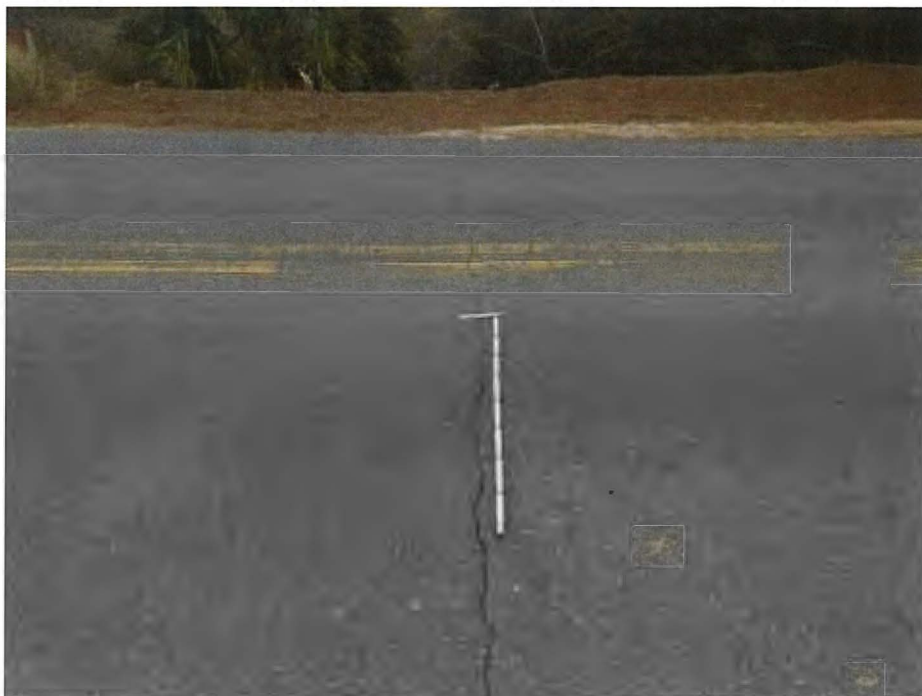
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DISTRICT: D3 - Chipley

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321 - Re Conc Approach Slab

Photo 5: Typical crack at approach roadway/slab transition



8475 - R/Conc Walls

Photo 6: Typical spall in near left wingwall pile

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Structure ID: 460167

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8475 - R/Conc Walls

Photo 7: Spall in near right wingwall pile



215 - Re Conc Abutment

Photo 8: Spall with exposed steel in near backwall

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215 - Re Conc Abutment

Photo 9: Spall with exposed steel with section loss of near backwall



215 - Re Conc Abutment

Photo 10: Spall with exposed steel with section loss of far backwall

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215 - Re Conc Abutment

Photo 11: Spall with exposed steel in far backwall



215 - Re Conc Abutment

Photo 12: Spall on Abutment Cap 7

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227 - Re Conc Pile

Photo 13: Typical spall on pile corner



227 - Re Conc Pile

Photo 14: Typical crack in pile

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227 - Re Conc Pile

Photo 15: Typical crack with corrosion bleed out on pile



227 - Re Conc Pile

Photo 16: Typical failing patch on pile

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227 - Re Conc Pile

Photo 17: Spall with exposed steel on Pile 7-1



234 - Re Conc Pier Cap

Photo 18: Crack in left end of Bent Cap 6

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109 - Pre Opn Conc Girder/Beam

Photo 19: Spall with exposed steel in Beam 1-1



109 - Pre Opn Conc Girder/Beam

Photo 20: Spall on Beam 1-6

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109 - Pre Opn Conc Girder/Beam

Photo 21: Spall in bottom face of Beam 1-8



109 - Pre Opn Conc Girder/Beam

Photo 22: Typical spall with exposed steel in beam

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109 - Pre Opn Conc Girder/Beam

Photo 23: Typical spall/delamination with exposed steel and section loss in Beam 4-12



109 - Pre Opn Conc Girder/Beam

Photo 24: Longitudinal crack with corrosion bleed out along Beam 5-1

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109 - Pre Opn Conc Girder/Beam

Photo 25: Typical spall/delamination with exposed steel along Beam 5-12



109 - Pre Opn Conc Girder/Beam

Photo 26: Spall in bottom face of Beam 6-4

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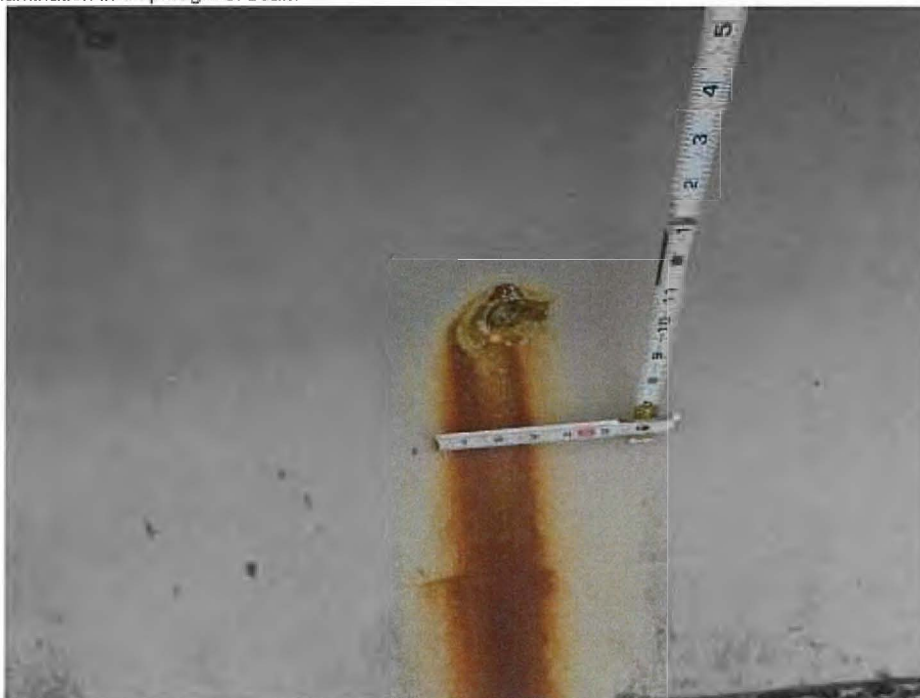
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109 - Pre Opn Conc Girder/Beam

Photo 27: Typical spall/delamination in diaphragm of beam



331 - Re Conc Bridge Railing

Photo 28: Area of corrosion bleed out in right bridge rail in Span 4

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Looking on With Station

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BRIDGE MANAGEMENT SYSTEM
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INSPECTION DATE: 2/28/2022 IUVI

BRIDGE LOCATION MAP

BRIDGE NO: 460167
COUNTY: Walton
FACILITY CARRIED: Wild Heron Way
FEATURE INTERSECTED: Powell Lake
LOCATION: 0.3 Miles N of SR30A/US98



Note: This structure is located on a dead end route; a detour route is not applicable.

Location Map

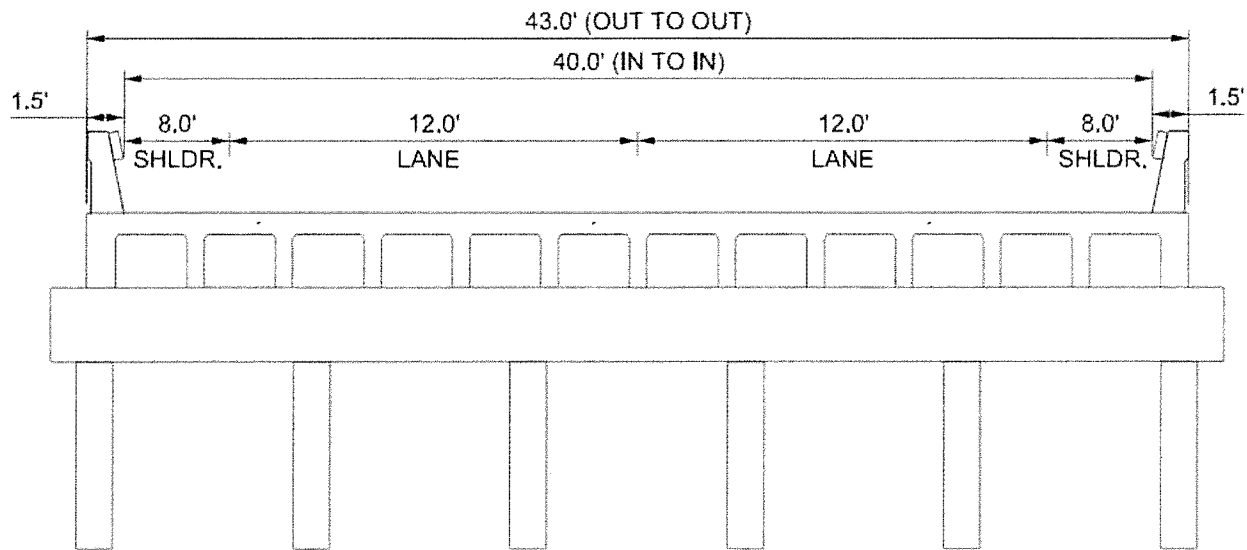
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DISTRICT: D3 - Chipley

INSPECTION DATE: 2/28/2022 IUVI

BRIDGE NO. 460167
BAY COUNTY



TYPICAL SECTION

Inventory Sketch 1

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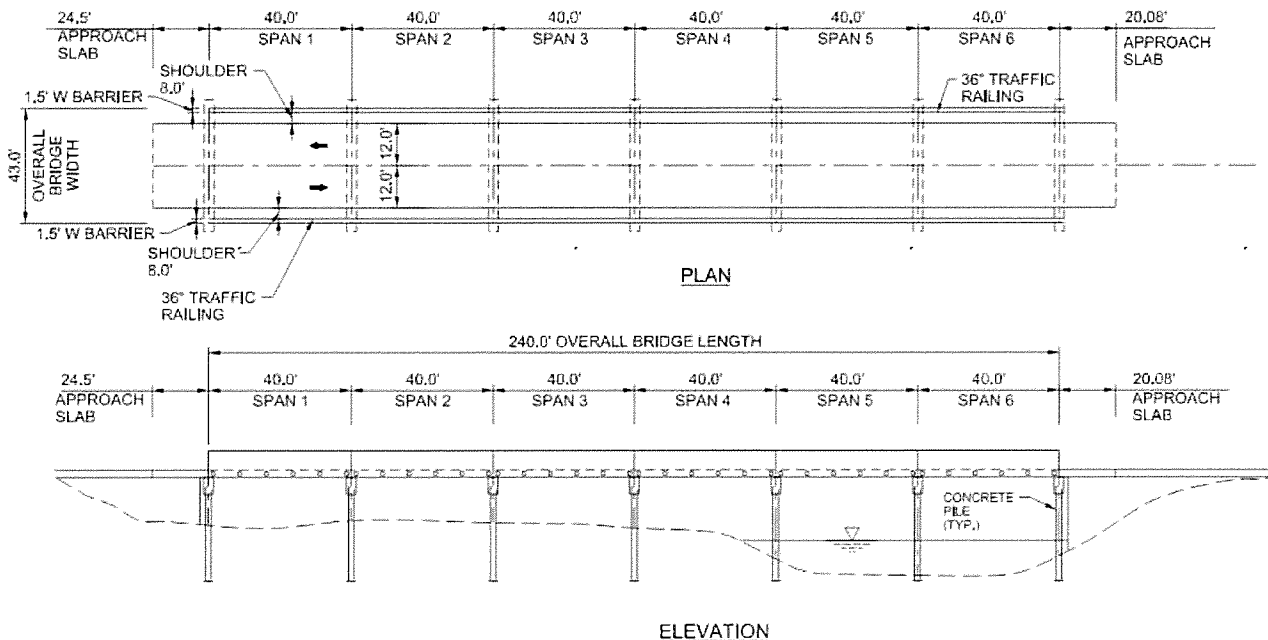
FLORIDA DEPARTMENT OF TRANSPORTATION
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BRIDGE NO. 460167
BAY COUNTY



Inventory Sketch 2

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FLORIDA DEPARTMENT OF TRANSPORTATION BRIDGE MANAGEMENT SYSTEM Inspection/CIDR/Bridge Profile Report Inspection


Structure ID: 460167

DISTRICT: D3 - Chipley

INSPECTION DATE: 2/28/2022 IUVI

Bridge No.	460167	Analysis Method:	LRFR-LRFD	FDOT Bridge Load Rating Summary Form (Page 1 of 1)	
Location	Wild Heron Way over Powell Lake				
Description	6 Span, Precast Reinforced Concrete Channel Beams (40.0' Span)				

Rating Type	Rating Type	Specs (Awt, Weight, Spans)	Material/Steel/Concrete	Design Load Factor	Live Load Factor	Wind Load Factor (kwh)	Rating Factor	Span No.	Span No. Location/Remarks	RF Weight (tons)
Level	Vehicle	Weight	Member Type	Limit	DC	LL	LLDF	RF	Spanning Location	RATING
Inventory	HL93	36	Reinf. Concrete	Strength, Moment	1.76/0.90	1.76	0.340	1.210	Span 10, 50% Span	43.6
Operating	HL93	36	Reinf. Concrete	Strength, Moment	1.25/0.90	1.35	0.340	1.570	Span 10, 50% Span	56.5
Permit	FL120	60	Reinf. Concrete	Strength, Moment	1.25/0.90	1.35	0.340	1.320	Span 10, 50% Span	73.2
Normal Max. Load	FL120	60	Reinf. Concrete	Strength, Moment	1.25/0.90	1.35	0.340	1.220	Span 10, 50% Span	73.2
Legal	SU2	17	Member Type	Limit Type	NA	NA				-1
	SU3	33	Member Type	Limit Type	NA	NA				-3
	SU4	35	Member Type	Limit Type	NA	NA				1
	C3	28	Member Type	Limit Type	NA	NA				1
	C4	34.7	Member Type	Limit Type	NA	NA				-3
	C5	40	Member Type	Limit Type	NA	NA				-1
Emergency Vehicle (EV)	EV2	28.75	Member Type	Limit Type	NA	NA				-3
	EV3	43	Member Type	Limit Type	NA	NA				-1

Original Design Load	HS20 or HS20-S16-44	Performed by:	A. Allen	Date:	04/31/22
Rating Type, Analysis	LRFR-LRFD	Checked by:	D. Diaz, DJ	Date:	04/15/22
Distribution Method	AASHTO Formula	 <p style="font-size: small;">David M Stump Jr. 3822-04-88 18-12-01-04100</p> <p style="font-size: x-small;">1560 Capital Circle NW, Suite 3 Tallahassee, FL 32307 dstump@conioneng.com</p>			
Impact Factor	33.0% (ade loading)				
FL120 Gov. Span Length	40.0 (feet)				
Minimum Span Length	40.0 (feet)				
Recommended Posting	AU/Allow legal loads. Posting Not Required.				
Recommended SU Posting	99 (tons)				
Recommended C Posting	99 (tons)				
Recommended STS Posting	99 (tons)				
Owner	26 Private (other than railroad)				
Location	Neither interstate traffic nor within 1 mile of interstate. (only for an interstate. See EV posting for more information. The EAST 40' span not rated.)				
CV Posting					
Floor Beam Present?	No				
Segmental Bridge?	No				
Project No. & Reason	22485017211 New Bridge				
Plans Status	Design or Construction				
Comments: Load rating based on AASHTO standard index plans for Precast Reinforced Channel Beams which were used in design per manufacturer, CONECLUH.					

This is a 2022 summary listing the FDOT Bridge Load Rating Manual (BLRM), and the FDOT BMS Loading Manual.
*Recommended SU Posting levels for Florida SU loads are currently defined by AASHTO standards, see AASHTO Design 1

File: g:\m\m\m\m\m\LoadRating\Summary

This report contains information relating to the physical security of a structure and depictions of the structure. This information is confidential and exempt from public inspection pursuant to sections 119.071(3)(a) and 119.071(3)(b), Florida Statutes. Only the cover page of this report may be inspected and copied.

**FLORIDA DEPARTMENT OF TRANSPORTATION
BRIDGE MANAGEMENT SYSTEM**

REPORT ID: INSP005

Inspection/CIDR/Bridge Profile Report

Structure ID: 460167

CIDR

DATE PRINTED: 4/28/2022

Description

Structure Unit Identification

Bridge/Unit Key: 460167 1
 Structure Name:
 Description: MAIN SPAN 1
 Type: M - Main

Roadway Identification

NBI Structure No (8): 460167
 Position/Prefix (5): 1 - Route On Structure
 Kind Hwy (Rte Prefix): 5 City Street
 Design Level of Service: 1 Mainline
 Route Number/Suffix: 00000 / 0 N/A (NBI)
 Feature Intersect (6): Powell Lake
 Critical Facility: Not Defense-crit
 Facility Carried (7): Wild Heron Way
 Mile Point (11): 0.3
 Latitude (16): 030d15'53.0" Long (17): 085d57'14.0"

Roadway Traffic and Accidents

Lanes (28): 2 Medians: 0 Speed: 35 mph
 ADT Class: 1 ADT Class 1
 Recent ADT (29): 500 Year (30): 2020
 Future ADT (114): 550 Year (115): 2040
 Truck % ADT (109): 0
 Detour Length (19): 99.0 mi
 Detour Speed: 35 mph
 Accident Count: Rate:

Roadway Classification

Nat. Hwy Sys (104): 0 Not on NHS
 National base Net (12): 0 - Not on Base Network
 LRS Inventory Rte (13a): 46 000 000 Sub Rte (13b): 00
 Functional Class (26): 19 Urban Local
 Federal Aid System: OFF
 Defense Hwy (100): 0 Not a STRAHNET hwy
 Direction of Traffic (102): 2 2-way traffic
 Emergency:

Roadway Clearances

Vertical (10): 99.99 ft Appr. Road (32): 43 ft
 Horiz. (47): 43 ft Roadway (51): 43 ft
 Truck Network (110): 0 Not part of natl netwo
 Toll Facility (20): 3 On free road
 Fed. Lands Hwy (105): 0 N/A (NBI)
 School Bus Route:
 Transit Route:

NBI Project Data

Proposed Work (075A): Not Applicable (P)
 Work To Be Done By (075B): Not Applicable (P)
 Improvement Length (076): 0 ft

Improvement Cost (094): \$ 0.00
 Roadway Improvement Cost (095): \$ 0.00
 Total Cost (096): \$ 0.00
 Year of Estimate (097):

NBI Rating

Channel (61): 6 Bank Slumping
 Deck (58): 7 Good
 Superstructure (59): 5 Fair
 Substructure (60): 5 Fair

Culvert (62): N N/A (NBI)
 Waterway (71): 7 Above Minimum
 Unrepaired Spalls:
 Review Required:

**FLORIDA DEPARTMENT OF TRANSPORTATION
BRIDGE MANAGEMENT SYSTEM**

REPORT ID: INSP005

Inspection/CIDR/Bridge Profile Report

Structure ID: 460167

CIDR

DATE PRINTED: 4/28/2022

Structure Identification

Admin Area: Bay County
 District (2): D3 - Chipley
 County (3): (46)Bay
 Place Code (4): No city involved
 Location (9): 0.3 Miles N of SR30A/US98
 Border Br St/Reg (98): Not Applicable (P) Share: 0 %
 Border Struct No (99):
 FIPS State/Region (1): 12 Florida Region 4-Atlanta
 NBIS Bridge Len (112): Y - Meets NBI Length
 Parallel Structure (101): No || bridge exists
 Temp. Structure (103): Not Applicable (P)
 Maint. Resp. (21): 26 Private(nonRailroad)
 Owner (22): 26 Private(nonRailroad)
 Historic Signif. (37): 5 Not eligible for NRHP

Structure Type and Material

Curb/Sidewalk (50): Left: 1.17 ft Right: 1.17 ft
 Bridge Median (33): 0 No median
 Main Span Material (43A): 1 Reinforced Concrete
 Appr Span Material (44A): Not Applicable (P)
 Main Span Design (43B): 22 Channel Beam
 Appr Span Design (44B): Not Applicable (P)

Appraisal**Structure Appraisal**

Open/Posted/Closed (41): A Open, no restriction
 Deck Geometry (68): 9 Above Desirable Crit
 Underclearances (69): N Not applicable (NBI)
 Approach Alignment (72): 8-No Speed Red thru Curv
 Bridge Railings (36a): 1 Meets Standards
 Transitions (36b): 1 Meets Standards
 Approach Guardrail (36c): 1 Meets Standards
 Approach Guardrail Ends (36d): 1 Meets Standards
 Scour Critical (113): U Unknown Foundation

Minimum Vertical Clearance

Over Structure (53): 99.99 ft
 Under (reference) (54a): N Feature not hwy or RR
 Under (54b): 0 ft

Schedule**Current Inspection**

Inspection Date: 02/28/2022
 Inspector: KNIEIJO - Joseph Stewart
 Bridge Group: CA058
 Alt. Bridge Group:
 Primary Type: Regular NBI
 Review Required:

Geometrics

Spans in Main Unit (45): 6
 Approach Spans (46): 0
 Length of Max Span (48): 40 ft
 Structure Length (49): 240 ft
 Total Length: 280 ft
 Deck Area: 10406 sqft
 Structure Flared (35): 0 No flare

Age and Service

Year Built (27): 2022
 Year Reconstructed (106): 0
 Type of Service On (42a): 1 Highway
 Under (42b): 5 Waterway
 Fracture Critical Details: Not Applicable

Deck Type and Material

Deck Width (52): 43 ft
 Skew (34): 0 deg
 Deck Type (107): 1 Concrete-Cast-in-Place
 Surface (108): 0 None
 Membrane: 0 None
 Deck Protection: None

Navigation Data

Navigation Control (38): Permit Not Required
 Nav Vertical Clr (39): 0 ft
 Nav Horizontal Clr (40): 0 ft
 Min Vert Lift Clr (116): 0 ft
 Pier Protection (111): Not Applicable (P)

NBI Condition Rating

Sufficiency Rating: 79.7
 Health Index: 86.97
 Structural Eval (67): 5 Above Min Tolerable
 Deficiency: Not Deficient

Minimum Lateral Underclearance

Reference (55a): N Feature not hwy or RR
 Right Side (55b): 0 ft
 Left Side (56): 0 ft

Next Inspection Date Scheduled

NBI: 02/28/2024
 Element: 02/28/2024
 Fracture Critical:
 Underwater: 02/28/2024
 Other/Special:
 Inventory Photo Update Due: 02/28/2032

**FLORIDA DEPARTMENT OF TRANSPORTATION
BRIDGE MANAGEMENT SYSTEM**

REPORT ID: INSP005

Inspection/CIDR/Bridge Profile Report

Structure ID: 460167

CIDR

DATE PRINTED: 4/28/2022

Schedule Cont.

Inspection Types

Performed

NBI Element Fracture Critical Underwater Other Special

Inspection Intervals

Required (92)

Frequency (92)

Last Date (93)

Inspection Resources

Fracture Critical	<input type="checkbox"/>	mos			Crew Hours: 13
Underwater	<input checked="" type="checkbox"/>	24 mos	02/28/2022		Flagger Hours: 0
Other Special	<input type="checkbox"/>	mos			Helper Hours: 0
NBI		24 mos (91)	02/28/2022 (90)		Snooper Hours: 0
					Special Crew Hours: 0
					Special Equip Hours: 0

Bridge Related

General Bridge Information

Parallel Bridge Seq: 0000

Channel Depth: 6.9 ft

Radio Frequency:

Phone Number:

Exception Date:

Exception Type:

Accepted By Maint:

Warranty Expiration: 00/00/0000

Performance Rating: Fair

Permitted Utilities: Power Water Gas Fiber Optic Sewage Other

Bridge Rail 1: Concrete jersey type

Bridge Rail 2: Not applicable-No rail

Electrical Devices: No electric service

Culvert Type: Not applicable

Maintenance Yard: Not FDOT Maintained

FIHS ON / OFF: No Routes on FIHS

Previous Structure:

2nd Previous Structure:

Replacement Structure:

Bridge Load Rating Information

Inventory Type (065): 3 LRFR Load & Res. Fact

Operating Type (063): 3 LRFR Load & Res. Fact

Original Design Load (031): 5 MS 18 (HS 20)

Date: 04/28/2022

Initials: DMS

Load Rating Rev. Recom.: No

Load Rating Plans Status: Design or Construction

Inventory Rating (066): 43.6 tons

Operating Rating (064): 56.5 tons

FL120 Permit Rating: 73.2 tons

HS20/FL120 Max Span Rating: 73.2 tons

Dynamic Impact in Percent: 33 %

Governing Span Length: 40.0 ft

Minimum Span Length: 40.0 ft

Distribution Method: AASHTO formula

Load Rating Notes:

LEGAL LOADS

SU2: -1.0 tons

SU3: -1.0 tons

SU4: -1.0 tons

C3: -1.0 tons

C4: -1.0 tons

C5: -1.0 tons

ST5: -1.0 tons

Posting (070): 5 At/Above Legal Loads

Open/Posted/Closed (041): A Open, no restriction

POSTING

Recom. SU Posting: 99 tons

Recom. C Posting: 99 tons

Recom. ST5 Posting: 99 tons

Actual SU Posting: 99 tons

Actual C Posting: 99 tons

Actual ST5 Posting: 99 tons

Actual Blanket Posting: 99 tons

Emergency Vehicle: 2 EV unrestricted

FLOOR BEAM (FB)

FB Present: No

FB Span Length, Gov: 0.0 ft

FB Spacing, Gov: 0.0 ft

FB OPR Rating: 0.0 tons

FB SU4 OPR Rating: 0.0 tons

FB FL120 Rating: 0.0 tons

SEGMENTAL (SEG)

SEG Wing-Span: -1.0 ft

SEG Web-to-Web Span: -1.0 ft

SEG Transverse HL93 Operating: -1.00 RF

Bridge Scour and Storm Information

Pile Driving Record: Unknown

Foundation Type: Unknown

Mode of Flow: Riverine

Rating Scour Eval: Unknown

Highest Scour Eval: No phase completed

Scour Evaluation Method: Unknown – Eval Not Comp

Scour Recommended I: Unknown

Scour Recommended II: Unknown

Scour Recommended III: Unknown

Scour Elevation: 999 ft

Action Elevation: 999 ft

Storm Frequency: 999

**FLORIDA DEPARTMENT OF TRANSPORTATION
BRIDGE MANAGEMENT SYSTEM**

REPORT ID: INSP005

Inspection/CIDR/Bridge Profile Report

Structure ID: 460167

CIDR

DATE PRINTED: 4/28/2022

Elements

Inspection Date: 02/28/2022 IUVI

DECKS : Decks/Slabs

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	12 / 4	Re Concrete Deck	10197	97.99	209	2.01	0	.	0	.	10406 sq.ft
0	1090 / 4	Exposed Rebar	0	.	1	100	0	.	0	.	1 sq.ft
0	1130 / 4	Cracking (RC and Other)	0	.	208	100	0	.	0	.	208 sq.ft
0	510 / 4	Wearing Surfaces	9365	90	0	.	1041	10	0	.	10406 sq.ft
0	3220 / 4	Crack (Wearing Surface)	0	.	0	.	1041	100	0	.	1041 sq.ft

DECKS : Joints

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	301 / 4	Pourable Joint Seal	301	100	0	.	0	.	0	.	301 ft

MISCELLANEOUS : Channel

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	8290 / 4	Channel	1	100	0	.	0	.	0	.	1 (EA)

MISCELLANEOUS : Other Elements

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	321 / 4	Re Conc Approach Slab	1002	100	0	.	0	.	0	.	1002 sq.ft
0	510 / 4	Wearing Surfaces	1002	100	0	.	0	.	0	.	1002 sq.ft

MISCELLANEOUS : Other Elements

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	8475 / 4	R/Conc Walls	61	95.31	0	.	3	4.69	0	.	64 ft
0	1080 / 4	Delamination/Spall/Patched Area	0	.	0	.	3	100	0	.	3 ft

SUBSTRUCTURE : Substructure

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	215 / 4	Re Conc Abutment	66	76.74	12	13.95	8	9.3	0	.	86 ft
0	1080 / 4	Delamination/Spall/Patched Area	0	.	0	.	3	100	0	.	3 ft
0	1090 / 4	Exposed Rebar	0	.	0	.	5	100	0	.	5 ft
0	1130 / 4	Cracking (RC and Other)	0	.	12	100	0	.	0	.	12 ft

SUBSTRUCTURE : Substructure

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	227 / 4	Re Conc Pile	0	.	35	71.43	14	28.57	0	.	49 (EA)
0	1080 / 4	Delamination/Spall/Patched Area	0	.	35	85.37	6	14.63	0	.	41 (EA)
0	1130 / 4	Cracking (RC and Other)	0	.	0	.	8	100	0	.	8 (EA)

SUBSTRUCTURE : Substructure

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	234 / 4	Re Conc Pier Cap	182	84.65	23	10.7	10	4.65	0	.	215 ft
0	1080 / 4	Delamination/Spall/Patched Area	0	.	1	100	0	.	0	.	1 ft
0	1130 / 4	Cracking (RC and Other)	0	.	22	68.75	10	31.25	0	.	32 ft

SUPERSTRUCTURE : Bearings

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
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**FLORIDA DEPARTMENT OF TRANSPORTATION
BRIDGE MANAGEMENT SYSTEM**

REPORT ID: INSP005

Inspection/CIDR/Bridge Profile Report

Structure ID: 460167

CIDR

DATE PRINTED: 4/28/2022

0	310 / 4	Elastomeric Bearing	288	100	0	.	0	.	0	.	288 each
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SUPERSTRUCTURE : Superstructure

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	110 / 4	Re Conc Opn Girder/Beam	2767	97.29	0	.	77	2.71	0	.	2844 ft
0	1080 / 4	Delamination/Spall/Patched Area	0	.	0	.	32	100	0	.	32 ft
0	1090 / 4	Exposed Rebar	0	.	0	.	40	100	0	.	40 ft
0	1130 / 4	Cracking (RC and Other)	0	.	0	.	5	100	0	.	5 ft

SUPERSTRUCTURE : Superstructure

Str Unit	Elem/Env	Description	Qty1	%1	Qty2	%2	Qty3	%3	Qty4	%4	T Qty
0	331 / 4	Re Conc Bridge Railing	453	93.6	30	6.2	1	0.21	0	.	484 ft
0	1120 / 4	Efflorescence/Rust Staining	0	.	0	.	1	100	0	.	1 ft
0	1130 / 4	Cracking (RC and Other)	0	.	30	100	0	.	0	.	30 ft

Total Number of Elements*: 11

*excluding defects/protective systems

Inspection Information**Inspection Date:** 02/28/2022**Type:** Regular NBI**Inspector:** KNIEIJO - Joseph Stewart**Inspection Notes:** Sufficiency Rating Calculation Accepted by KNIEIAN at 4/28/2022 3:24:15 PM
UW TANK = 2/28/22

TRAFFIC RESTRICTIONS: The bridge is not posted. Based on our initial (2022) field inspection and the 2022 load capacity analysis, posting restrictions are not considered necessary at this time.

The load rating currently filed in the Department's Electronic Document Management System, sealed on 4/28/2022 by David M. Stump, Jr., P.E., was reviewed by David M. Stump, Jr., P.E., and found to be complete and applicable.

Structure Notes

Bridge entered 3/16/2022 1:59:08 PM by userid KNIEIDS

Schedule Notes

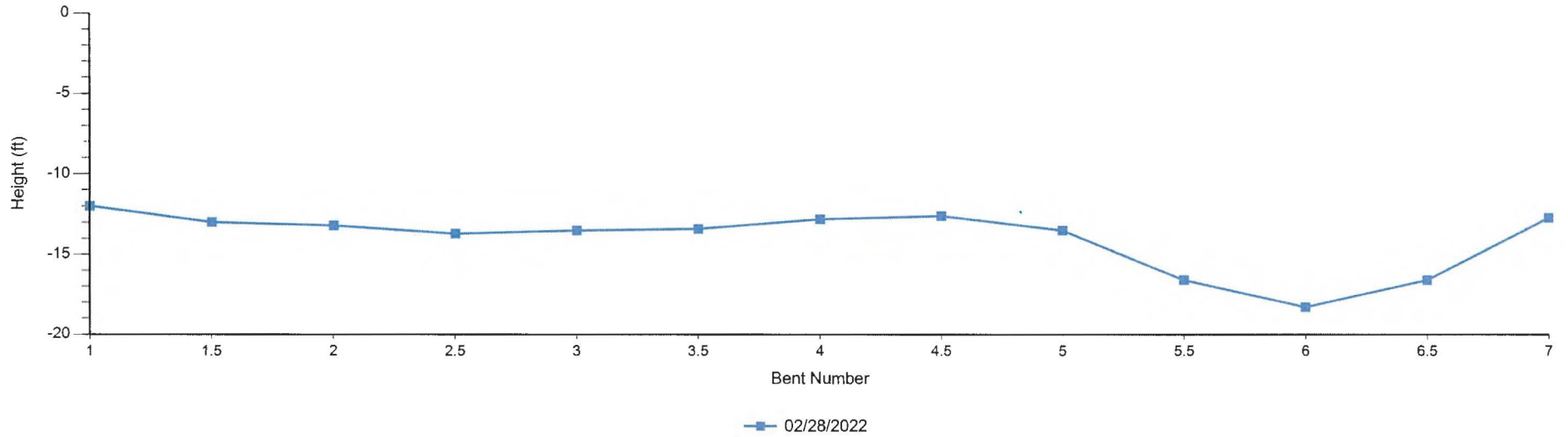
FLORIDA DEPARTMENT OF TRANSPORTATION BRIDGE MANAGEMENT SYSTEM

Inspection/CIDR/Bridge Profile Report

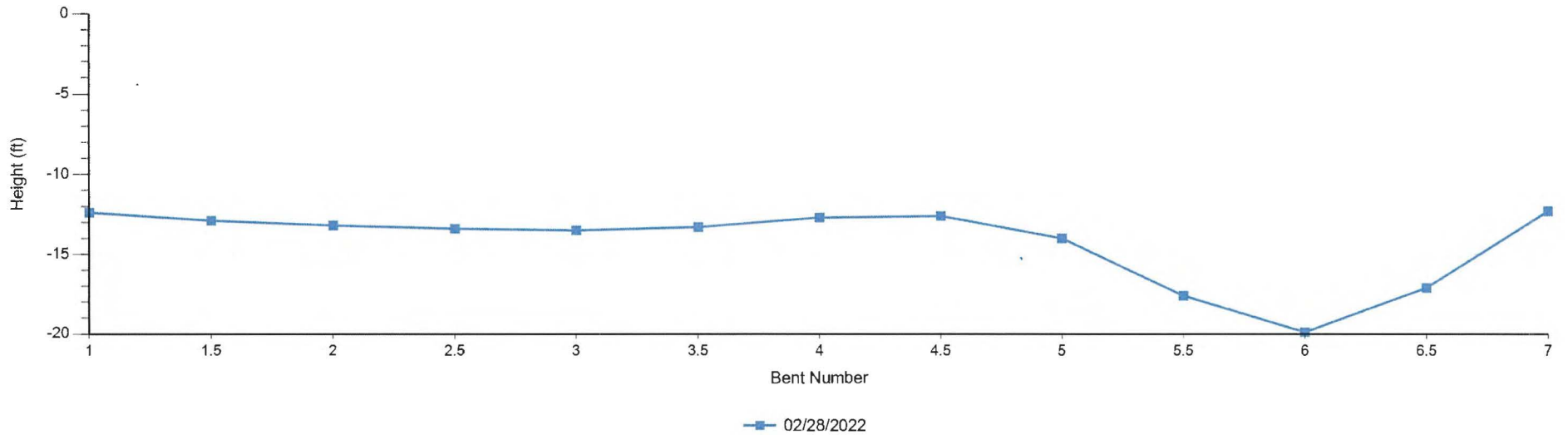
Bridge Profile

DATE PRINTED: 4/28/2022 4:30:35 PM

Left Profile by Inspection



Right Profile by Inspection



FLORIDA DEPARTMENT OF TRANSPORTATION BRIDGE MANAGEMENT SYSTEM
Inspection/CIDR/Bridge Profile Report
Bridge Profile

Profile Data - Numerical Summary

Inspection Date and Key: 2/28/2022	IUVI	Bent #	Left Height	Right Height	(All Heights are in Feet)
		1	12.00	12.40	
		1.5	13.00	12.90	
		2	13.20	13.20	
		2.5	13.70	13.40	
		3	13.50	13.50	
		3.5	13.40	13.30	
		4	12.80	12.70	
		4.5	12.60	12.60	
		5	13.50	14.00	
		5.5	16.60	17.60	
		6	18.30	19.90	
		6.5	16.60	17.10	
		7	12.70	12.30	

Air Temp: 62

Profile Notes:

Waterway Measurements: Top of rail to waterline at Bent 6 = 13.0 ft Left and Right.
 Groundline Measurements from top of rail.

**LAKE POWELL
RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT**

7A

**LAKE POWELL
RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT**

7B

**LAKE POWELL
RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT**

8

**LAKE POWELL RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT
FINANCIAL STATEMENTS
UNAUDITED
JUNE 30, 2022**

**LAKE POWELL RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT
BALANCE SHEET
GOVERNMENTAL FUNDS
JUNE 30, 2022**

	General Fund	Debt Service Fund Series 2012	Total Funds
ASSETS			
Operating accounts			
BB&T	\$ 156,861	\$ -	\$ 156,861
Wells Fargo - operating*	685,194	-	685,194
Centennial Bank	257,215	-	257,215
FineMark			
Designated - stormwater compliance	127,064	-	127,064
Undesignated	121,747	-	121,747
FineMark - ICS	738,224	-	738,224
Investments			
Revenue	-	312,588	312,588
Reserve	-	198,913	198,913
Due from governmental funds			
General fund	-	19,654	19,654
Deposits	2,075	-	2,075
Total assets	<u>\$ 2,088,380</u>	<u>\$ 531,155</u>	<u>\$ 2,619,535</u>
LIABILITIES & FUND BALANCES			
Liabilities:			
Due to governmental funds			
Debt service	\$ 19,654	\$ -	\$ 19,654
Total liabilities	<u>19,654</u>	<u>-</u>	<u>19,654</u>
Fund balances:			
Committed			
Disaster	250,000	-	250,000
District bridge projects	100,000	-	100,000
Road project 2022	150,000	-	150,000
Stormwater system upgrades	50,000	-	50,000
Restricted for:			
Debt service	-	531,155	531,155
Assigned to:			
3 months working capital	248,575	-	248,575
Unassigned	1,270,151	-	1,270,151
Total fund balances	<u>2,068,726</u>	<u>531,155</u>	<u>2,599,881</u>
Total liabilities and fund balances	<u>\$ 2,088,380</u>	<u>\$ 531,155</u>	<u>\$ 2,619,535</u>

*Accounts not reconciled as statement not received prior to agenda preparation date.

**LAKE POWELL RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
FOR THE PERIOD ENDED JUNE 30, 2022**

	Current Month	Year to Date	Budget	% of Budget
REVENUES				
Assessment levy	\$ 31,285	\$ 663,570	\$ 670,801	99%
Interest & miscellaneous	46	445	1,000	45%
Revenue certificates	-	22,987	-	N/A
Total revenues	<u>31,331</u>	<u>687,002</u>	<u>671,801</u>	102%
EXPENDITURES				
Administrative				
Supervisors	2,153	8,181	5,000	164%
Management	2,596	23,365	31,153	75%
Accounting	918	8,259	11,012	75%
Assessment roll prep	1,209	10,883	14,510	75%
Audit	-	7,500	7,500	100%
Legal	-	3,580	12,000	30%
Engineering	-	3,300	13,280	25%
Postage	18	722	1,775	41%
Telephone	88	788	1,050	75%
Website maintenance	-	705	750	94%
Insurance	-	7,135	7,500	95%
Printing and binding	125	1,125	1,500	75%
Legal advertising	114	506	2,500	20%
Other current charges	23	499	1,200	42%
Office supplies	-	-	500	0%
Special district annual fee	-	-	175	0%
Trustee	-	-	7,431	0%
Arbitrage	-	750	1,200	63%
Dissemination agent	83	750	1,000	75%
ADA website compliance	-	-	210	0%
Total administrative	<u>7,327</u>	<u>78,048</u>	<u>121,246</u>	64%

**LAKE POWELL RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
FOR THE PERIOD ENDED JUNE 30, 2022**

	Current Month	Year to Date	Budget	% of Budget
Security				
Contractual rangers	12,096	93,265	153,000	61%
Total security	<u>12,096</u>	<u>93,265</u>	<u>153,000</u>	61%
Lake wetland & upland monitoring				
Mitigation and monitoring				
Prescribed fires and gyro mulching	24,710	24,710	46,050	54%
Ecologist	-	27,920	57,980	48%
Total lake wetland & upland monitoring	<u>24,710</u>	<u>52,630</u>	<u>104,030</u>	51%
Roadway services				
Roadway repairs and maintenance	-	5,050	63,700	8%
Roadway resurfacing	-	-	400,000	0%
Bridge repairs and maintenance	-	19,775	50,000	40%
Total roadway services	<u>-</u>	<u>24,825</u>	<u>513,700</u>	5%
Stormwater management				
Operations	-	-	17,250	0%
Pond aeration	13,009	20,570	30,000	69%
Electricity - lift stations	15	219	600	37%
Stormwater system repairs	14,700	20,450	18,000	114%
Total stormwater management	<u>27,724</u>	<u>41,239</u>	<u>65,850</u>	63%
Other charges				
Tax collector	627	13,272	13,975	95%
Total other charges	<u>627</u>	<u>13,272</u>	<u>13,975</u>	95%
Total expenditures	<u>72,484</u>	<u>303,279</u>	<u>971,801</u>	31%
Excess/(deficiency) of revenues over/(under) expenditures	(41,153)	383,723	(300,000)	
Fund balances - beginning	<u>2,109,879</u>	<u>1,685,003</u>	<u>1,511,302</u>	
Fund balances - ending				
Committed				
Disaster	250,000	250,000	250,000	
District bridge projects	100,000	100,000	100,000	
Road projects	150,000	150,000	150,000	
Storm system upgrades	50,000	50,000	50,000	
Assigned				
3 months working capital	248,575	248,575	248,575	
Unassigned	1,270,151	1,270,151	412,727	
Fund balances - ending	<u><u>\$2,068,726</u></u>	<u><u>\$2,068,726</u></u>	<u><u>\$1,211,302</u></u>	

**LAKE POWELL RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
FOR THE PERIOD ENDED JUNE 30, 2022**

	Current Month	Year to Date	Budget	% of Budget
REVENUES				
Assessment levy	\$ 20,055	\$ 425,374	\$ 430,016	99%
Special assessment - direct bill	-	360	-	N/A
Interest	118	138	-	N/A
Assessment prepayments	-	12,600	-	N/A
Total revenues	<u>20,173</u>	<u>438,472</u>	<u>430,016</u>	102%
Debt service				
Principal	-	215,000	215,000	100%
Principal prepayment	-	50,000	-	N/A
Interest	-	177,606	177,881	100%
Total debt service	<u>-</u>	<u>442,606</u>	<u>392,881</u>	113%
Other charges				
Tax collector	400	8,506	8,959	95%
Total other charges	<u>400</u>	<u>8,506</u>	<u>8,959</u>	95%
Total expenditures	<u>400</u>	<u>451,112</u>	<u>401,840</u>	112%
Excess/(deficiency) of revenues over/(under) expenditures	19,773	(12,640)	28,176	
Fund balance - beginning	511,382	543,795	573,429	
Fund balance - ending	<u>\$ 531,155</u>	<u>\$ 531,155</u>	<u>\$ 601,605</u>	

**LAKE POWELL RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT
AMORTIZATION SCHEDULE - SERIES 2012
\$5,160,000**

Date	Principal	Interest Rate	Interest	Total Principal & Interest
11/01/2021	215,000.00	5.250%	92,912.50	307,912.50
05/01/2022	-	-	87,268.75	87,268.75
04/30/2022	225,000.00	5.250%	87,268.75	312,268.75
05/01/2023	-	-	81,362.50	81,362.50
11/01/2023	235,000.00	5.750%	81,362.50	316,362.50
05/01/2024	-	-	74,606.25	74,606.25
11/01/2024	250,000.00	5.750%	74,606.25	324,606.25
05/01/2025	-	-	67,418.75	67,418.75
11/01/2025	265,000.00	5.750%	67,418.75	332,418.75
05/01/2026	-	-	59,800.00	59,800.00
11/01/2026	280,000.00	5.750%	59,800.00	339,800.00
05/01/2027	-	-	51,750.00	51,750.00
11/01/2027	300,000.00	5.750%	51,750.00	351,750.00
05/01/2028	-	-	43,125.00	43,125.00
11/01/2028	315,000.00	5.750%	43,125.00	358,125.00
05/01/2029	-	-	34,068.75	34,068.75
11/01/2029	330,000.00	5.750%	34,068.75	364,068.75
05/01/2030	-	-	24,581.25	24,581.25
11/01/2030	355,000.00	5.750%	24,581.25	379,581.25
05/01/2031	-	-	14,375.00	14,375.00
11/01/2031	370,000.00	5.750%	14,375.00	384,375.00
05/01/2032	-	-	3,737.50	3,737.50
11/01/2032	130,000.00	5.750%	3,737.50	133,737.50
Total	\$ 3,270,000.00		\$ 1,177,100.00	\$ 4,447,100.00

**LAKE POWELL RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT
RECONCILIATION OF STORMWATER COMPLIANCE MONIES
JUNE 30, 2022**

Beginning balance		\$ 218,317.74
Kossen		
Invoice #54115	(8,040.75)	
Invoice #55223	(8,040.75)	
Invoice #55961	(8,040.75)	
Invoice #55964	<u>(3,233.00)</u>	(27,355.25)
Panhandle Engineering		
Invoice #60503-1/19	(1,450.00)	
Invoice #60503-1/20	(2,900.00)	
Invoice #60521/01	(1,800.00)	
Invoice #60521/02	(500)	
Invoice #60521/03	(1,000)	
Invoice #60521/04	(500)	
Invoice #60521/07	(3,500)	
Invoice #60521/08	(8,835)	
30-Apr-22	(39,289)	
Invoice #60521/11	<u>(2,000)</u>	(61,774.00)
The Service House		
Invoice #60396	(291.69)	
Invoice #60397	<u>(291.69)</u>	(583.38)
Shark's Tooth Golf Club		
Invoice #60947	(3,180.00)	
Credit memo #63609	<u>908.46</u>	(2,271.54)
Interest income	848.51	
Bank charges	<u>(118.34)</u>	730.17
Remaining available monies		<u><u>\$ 127,063.74</u></u>

**LAKE POWELL RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT
REVENUE CERTIFICATES RECEIVABLE**

Payment Date	Property Location	Water	Sewer	Total	Balance Due	WO #
					232,615.41	
3/23/2006	TURTLE COVE CIR, 209	215.69	826.32	1,042.01		7951
	SALAMANDER TRL, 1401-1407	813.20	2,915.47	3,728.67		7984
	SALAMANDER TRL, 1409-1415	813.20	2,915.47	3,728.67		7985
	SALAMANDER TRL, 1417-1423	813.20	2,915.47	3,728.67		7986
	SALAMANDER TRL, 1400-1406	813.20	2,915.47	3,728.67		8962
	SALAMANDER TRL, 1408-1414	813.20	2,915.47	3,728.67		8963
	SALAMANDER TRL, 1416-1422	813.20	2,915.47	3,728.67		8964
	MATCH PT LN, 1506-10 12-16 13-15	1,900.30	7,090.55	8,990.85	200,210.54	8968
5/15/2006	WILD HERON WAY, 823	217.00		217.00		8072
	WILD HERON WAY, 1436	68.20	311.36	379.56	199,613.98	8084
8/3/2006	TURTLE COVE, 300	647.06	894.25	1,541.31	198,072.67	8097
9/13/2006	BAYFLOWER , 1619 LOT B1-10	313.10	1,146.38	1,459.48	196,613.19	8276
7/30/2007	MARSH RABBIT RUN, 22105	294.50	976.54	1,271.04		8431
	GREEN TURTLE LN, 3306	464.48	962.39	1,426.87		8535
30-Apr-22	SALAMANDER TR, 1518 1532	616.90	2,137.07	2,753.97		8570
	SALAMANDER TR, 1562 60 64 70	778.10	2,589.96	3,368.06	187,793.25	8595
1/9/2012	SALAMANDER TR, 1516	226.30	835.02	1,061.32		10138
	SALAMANDER TR, 1530	179.80	622.72	802.52		10139
	SALAMANDER TR, 1534	179.80	622.72	802.52	185,126.89	10140
2/17/2012	LOST COVE, 1721	179.80	622.72	802.52		10249
6/29/2012	SHARKSTOOTH TRL, LOT AV-9	226.30	835.02	1,061.32	183,263.05	10364
7/16/2012	SALAMANDER TRL, 1522	226.30	835.02	1,061.32		10374
	SALAMANDER TRL, 1546	226.30	835.02	1,061.32		10375
	SALAMANDER TRL, 1566	226.30	835.02	1,061.32		10376
7/23/2012	PROSPECT PROMENADE, 1206	226.30	835.02	1,061.32	179,017.79	10381
12/18/2012	LITTLE HAWK DR, 1515	182.90	636.88	819.78		10509
12/20/2012	LOST COVE LN, 1608	260.40	905.78	1,166.18		10511
1/28/2013	SALAMANDER TRL, 1335	170.50	580.27	750.77		10536
2/4/2013	SALAMANDER TRL, 1501	143.79	498.06	641.85		10541
2/4/2013	SKIMMER CT, 1702	176.02	645.21	821.23		10542
2/4/2013	SKIMMER CT, 1710	143.79	498.06	641.85		10544
2/11/2013	SKIMMER CT, 1715	195.30	693.49	888.79		10551
2/11/2013	SALAMANDER TRL, 1116	170.50	580.27	750.77		10552
2/11/2013	SALAMANDER TRL, 1503	170.50	580.27	750.77		10553
2/25/2013	SKIMMER CT, 1709	210.80	764.25	975.05	171,785.83	10559
3/20/2013	SKIMMER CT, 1711	195.30	693.49	888.79		10598
4/22/2013	SKIMMER CT, 1713	155.00	509.50	664.50		10644
5/15/2013	WILD HERON, LOT A1-34	347.20	1,245.45	1,592.65	167,664.85	10669
7/23/2013	SKIMMER CT, 1704	155.00	509.50	664.50	167,000.35	10717
4/4/2014	SHARKSTOOTH TRL, 1602	300.70	1,004.85	1,305.55		10874
	MEADOWLARK WAY, 1603	260.40	905.78	1,166.18		10875
	SKIMMER CT. 1071	186.00	651.03	837.03		10879
	DUNE LAKE TRL, 1523	210.80	764.25	975.05		10969
	SKIMMER CT, 1706	195.30	693.49	888.79		11071
	SMIMMER CT, 1703	155.00	509.50	664.50		11072
	TURTLEBACK TRL, 1416	155.00	509.50	664.50		11073

**LAKE POWELL RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT
REVENUE CERTIFICATES RECEIVABLE**

Payment Date	Property Location	Water	Sewer	Total	Balance Due	WO #
	LITTLE HAWK DR, 1505	210.80	764.25	975.05		11080
	SKIMMER CT, 1707	195.30	693.49	888.79	158,634.93	11082
6/3/2014	LITTLE HAW LN, 1511	179.80	622.72	802.52		11095
	SHARKS TOOTH TRL, 1601	195.30	693.49	888.79		11134
	SKIMMER CT, 1705	155.00	509.50	664.50	156,279.12	11135
8/5/2014	LOST COVE LN, 1723	195.30	693.49	888.79		11189
	LOST COVE LN, 1732	204.60	735.95	940.55	154,449.79	11223
10/24/2014	LITTLE HAWK LN, 1501	204.60	735.95	940.55		11259
	EGRET LN, 1408	204.60	735.95	940.55		11260
	MEADOWLARK WAY, 1618	266.60	905.78	1,172.38		11277
	LITTLE HAWK LBM 1507	195.31	693.49	888.80		11304
	TURTLE BACK TRL, 22703	285.20	1,019.00	1,304.20		11315
	W WATEROAK BEND, 1214	241.80	905.78	1,147.58		11362
	SALAMANDER TRL, 1520	229.40	849.17	1,078.57	146,977.18	11370
2/12/2015	LITTLE HAWK LN, 1512	210.80	764.25	975.05		11422
	EGRET CT, 1406	210.80	764.25	975.05	145,027.08	11423
6/15/2015	FOX GLEN TRACE, 22207	241.80	905.78	1,147.58		11584
	LITTLE HAWK LN, 1503	235.60	877.47	1,113.07		11587
	LITTLE HAWK LN, 1509	285.20	1,103.92	1,389.12		11622
	SALAMANDER TRL, 1301	155.00	509.50	664.50		11632
	SKIMMER CT, 1708	176.70	608.57	785.27		11666
	SHARKS TOOTH TRL, 1607	193.38	724.45	917.82	139,009.73	11696
03/23/16	CITY OF PANAMA CITY	0.00	0.00	865.60	138,144.13	11698
05/30/16	CITY OF PANAMA CITY	0.00	0.00	743.49	137,400.64	
06/24/16	CITY OF PANAMA CITY	0.00	0.00	52,013.10	85,387.54	
07/28/16				1,438.72	83,948.82	
10/28/16				448.66	83,500.16	
02/28/17	CITY OF PANAMA CITY	0.00	0.00	1,643.59	81,856.57	
08/17/17	CITY OF PANAMA CITY	0.00	0.00	2,779.80	79,076.77	
01/24/18	CITY OF PANAMA CITY	0.00	0.00	3,818.94	75,257.83	
03/07/18	CITY OF PANAMA CITY	0.00	0.00	519.35	74,738.48	
05/30/18	CITY OF PANAMA CITY	0.00	0.00	2,473.61	72,264.87	
07/26/18	CITY OF PANAMA CITY	0.00	0.00	876.64	71,388.23	
03/04/19	WILD HERON WAY, 721	252.65	785.48	1,038.13	70,350.10	
	WILD HERON WAY, 717	249.55	884.55	1,134.10	69,216.00	
	WILD HERON WAY, 709	249.55	884.55	1,134.10	68,081.90	
	LOST COVE LN, 1616	98.95		98.95	67,982.95	
	TURTLE COVE CIR, 313	143.79	430.14	573.93	67,409.02	
	TURTLE COVE CIR, 304	39.46	352.87	392.32	67,016.69	
	WILD HERON WAY, 724	172.61	1,180.55	1,353.16	65,663.53	
	WILD HERON WAY, 728	172.61	1,180.55	1,353.16	64,310.37	
	WILD HERON WAY, 732	172.61	1,180.55	1,353.16	62,957.21	
05/15/19	LOST COVE LN, 1604	33.07		33.07	62,924.13	
	LOST COVE LN, 1612	174.06	1,037.85	1,211.91	61,712.22	
08/29/19	CITY OF PANAMA CITY	0.00	0.00	3,433.48	58,278.74	
04/23/20	CITY OF PANAMA CITY	0.00	0.00	6,445.02	51,833.72	
08/07/20	CITY OF PANAMA CITY	0.00	0.00	5,858.60	45,975.12	

**LAKE POWELL RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT
REVENUE CERTIFICATES RECEIVABLE**

Payment Date	Property Location	Water	Sewer	Total	Balance Due	WO #
11/19/20	CITY OF PANAMA CITY	0.00	0.00	66.17	45,908.95	
02/10/21	CITY OF PANAMA CITY	0.00	0.00	3,941.78	41,967.17	
04/05/21	CITY OF PANAMA CITY	0.00	0.00	5,709.60	36,257.57	
08/01/21	CITY OF PANAMA CITY	0.00	0.00	8,293.75	27,963.82	
10/17/21	CITY OF PANAMA CITY	0.00	0.00	10,411.99	17,551.83	
02/18/22	CITY OF PANAMA CITY	0.00	0.00	12,574.96	4,976.87	

**LAKE POWELL
RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT**

9A

DRAFT

**MINUTES OF MEETING
LAKE POWELL RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT**

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The Board of Supervisors of the Lake Powell Residential Golf Community Development District held a Regular Meeting on June 6, 2022, at 3:00 p.m., Central Time, at the Boat House, 1110 Prospect Promenade, Panama City Beach, Florida 32413.

Present and constituting a quorum were:

David Dean	Chair
Thomas Balduf	Vice Chair
David Holt	Assistant Secretary
Jerry Robinson	Assistant Secretary
Frank Self	Assistant Secretary

Also present were:

Cindy Cerbone	District Manager
Jamie Sanchez	Wrathell, Hunt and Associates, LLC
Mike Burke	District Counsel
Sherrri Mallory	Resident/POA
Pete Mallory	Resident
Eddie Levick	Resident/POA
Pete Fox	Resident

FIRST ORDER OF BUSINESS

Call to Order/Roll Call

Ms. Cerbone called the meeting to order at 3:05 p.m., Central Time. All Supervisors were present, in person.

SECOND ORDER OF BUSINESS

Public Comment

No members of the public spoke.

THIRD ORDER OF BUSINESS

Discussion/ Consideration of Permanent Easement Regarding Wild Heron Way

40 Ms. Cerbone discussed a request from Mr. Charlie Norton for a permanent easement for
41 a parcel's entry and exit from Wild Heron Way onto their parcel where the main entry and exit
42 is on 98. She stated Mr. Burke requested plans to review but none were received.

43 Mr. Dean stated that Ms. Cerbone was not included in some of the emails. He reported
44 that, after contacting various attorneys, the buyers accepted the CDD's position that it is a
45 public road. Mr. Burke and the County Attorney advised that it is a public road and the buyer
46 would work with Mr. Burke regarding the connection requirements.

47 Resident Sherri Mallory asked if the requesting party must apply to the Department of
48 Transportation (DOT) to get access. Mr. Dean stated they will need approval on 98 but the
49 intention is to come off Wild Heron Way and use Turtle Cove as an access point. Mr. Burke will
50 review the engineering and traffic flow; the connection must be allowed but the CDD can make
51 the connection safe.

52 Requiring road enhancement, the location in question, future paving and enhancements
53 and conveyance to the County were discussed.

54 This item should be removed from future agendas.

55

56 **FOURTH ORDER OF BUSINESS**

**Wild Heron POA Non-Ad Valorem
Assessment Forgiveness Regarding
Property Purchased from St. Joe**

57

58
59
60 Ms. Cerbone discussed previous approval for the CDD to forgive the non-ad valorem
61 assessment on property purchased by the POA and to reimburse the approximately \$2,200 paid
62 at closing for the CDD non-ad valorem assessments. While the Operation and Maintenance
63 (O&M) assessment, which includes professional and administrative fees and field operations,
64 may be forgiven the CDD cannot forgive bond debt. Discussion ensued regarding off-roll
65 collection of the POA debt service assessment, removing the O&M assessment and funds paid
66 at closing.

67 Ms. Mallory questioned the amount of the allocation of debt to the parcel, given the
68 size of the parcel.

69 The Assessment Methodology process and the four units within the parcel were
70 discussed.

71 Ms. Mallory stated the POA did not purchase all four parcels. Ms. Cerbone stated the
 72 calculation was done based on the information provided to her office, which will be emailed to
 73 Ms. Mallory; a call will also be scheduled.

74 Conversation ensued about the subdivision of parcels into units, sale of parcels and
 75 Assessment Methodology.

76

77 **On MOTION by Mr. Dean and seconded by Mr. Holt, with all in favor, forgiving**
 78 **the Operations & Maintenance assessments but not the Debt Service**
 79 **assessments on the POA parcel and authorizing the District Manager to work**
 80 **with the POA, as necessary, was approved.**

81

82

83 **FIFTH ORDER OF BUSINESS** District Counsel – Discussion/
 84 Consideration/Update

85

86 **A. Potential Land Swap with St. Joe**

87 **I. Wild Heron Tennis Courts Asset Value**

88 **II. Tennis Court Options for Management/Owner/Operator**

89 **III. Court Maintenance Plus Other Surrounding Areas**

90 Ms. Cerbone stated Supervisor Robinson provided extensive information at the last
 91 meeting about Items 1A, 1B and 1C regarding the CDD potentially taking over the tennis court
 92 area. The need to consider maintenance costs for areas surrounding the tennis courts was also
 93 discussed. She suggested the Board might also wish to explore whether the option exists to
 94 work with an outside party, such as a tennis professional, who might bear the cost of
 95 maintenance. Mr. Burke stated he had not heard anything further and he was unable to reach
 96 St. Joe's attorney to discuss it. As the Board expressed interest in considering this matter, Ms.
 97 Cerbone stated she would discuss the related considerations in conjunction with the budget.

98 **B. Update on Agreements Sent to POA**

99 **I. POA Maintenance Agreement**

100 • **Landscape Standards**

101 **II. POA Agreement for Stormwater Facility Management Services**

102 **III. POA Boat House Lease**

103 Ms. Cerbone stated the Agreements listed were previously approved, in substantial
104 form; none are urgent and she believes the POA is still reviewing them. Mr. Burke concurred.

105 Mr. Holt believed the POA took exception with some of the Maintenance Agreement
106 verbiage, so he suggested the subject be revisited. The verbiage and scope of the Maintenance
107 Agreement and the Landscape Standards were discussed.

108 Ms. Mallory suggested holding a Workshop to address Landscape Standards and the
109 Maintenance Agreement and to develop an Exhibit distinguishing which roads and ponds and
110 stormwater areas belong to the POA and the CDD. Mr. Dean stated that type of Exhibit exists
111 and will be provided. Ms. Cerbone stated the next scheduled meeting is August 1, 2022.

112 Discussion ensued regarding meeting dates. Mr. Balduf suggested the POA make its
113 edits and submit them to the CDD for discussion at the August meeting.

114 Ms. Cerbone stated she would communicate with Counsel and the POA regarding their
115 edits to the Landscape Agreement, for inclusion in the August agenda. If a joint meeting is held,
116 the Landscaping Board will need to agree on the revisions in advance; the POA's revisions to the
117 Maintenance Agreement will also be included in the agenda.

118 **C. Other**

119 No other items were discussed.

120

121 **SIXTH ORDER OF BUSINESS**

**District Engineer – Discussion/
Consideration/Update**

122

123
124 **A. Consideration of Cost Proposals for Driveway Enhancements on Marsh Rabbit Run and
125 Turtleback Court**

126 Ms. Cerbone noted that the Board is anxiously awaiting proposals for the drainage
127 enhancements on Marsh Rabbit Run and Turtleback Court and, while Ms. Womack received
128 one proposal for each location and additional proposals were pending, the proposals were not
129 included in the agenda. Mr. Holt expressed frustration with the ongoing delays. Discussion
130 ensued about whether to approve a not-to-exceed amount, designate a Board Member or hold
131 an additional meeting.

132 Mr. Holt discussed the need to develop a master plan for landscaping as soon as
133 possible, given that construction is ongoing. He recommended awarding the contract and
134 holding a site meeting to develop a plan for construction.

135 Discussion ensued regarding engineering and construction.

136 Ms. Cerbone proposed recessing today's meeting and continuing it and, if proposals are
137 not received in time for the Continued Meeting, the meeting could be continued again. The
138 consensus was to continue today's meeting to June 13, 2022 at 11:30 a.m., Central Time. If
139 proposals are not received the meeting will be opened and continued to another date.

140 **B. Other**

141 No other items were discussed.

142

143 **SEVENTH ORDER OF BUSINESS**

**District Ecologist – Discussion/
Consideration/Update**

144

145

146 **A. Installation Of New Aerators**

147 In Ms. Womack's absence, Ms. Cerbone presented Ms. Womack's Report and stated the
148 CDD will not be charged for the fencing material for the area visible to the COA.

149 Mr. Balduf expressed concerns about pond aeration and noted that ponds went dry in
150 the past. The Meadowlark Pond is an area of concern. Mr. Holt noted another aerator that is
151 not working. Mr. Balduf would email Ms. Womack regarding the aerators.

152 **B. Update: Fence Screening in Maintenance Area**

153 Regarding the maintenance area fence, Ms. Cerbone stated the vendor will not charge
154 the CDD for the fence material; the CDD's order was canceled and the COA will take care of any
155 matters in order to block the view they do not wish to see. Her understanding is that Mr.
156 Robinson spoke with Mr. Jim Morgan and the COA agreed to remedy the situation.

157 **C. Other**

158 Mr. Burke presented the request for a Riparian Rights Easement Agreement for the
159 boathouse dock, which would allow the POA to make improvements. He corrected some
160 typographical errors; otherwise, the form is standard. The dock was limited to kayaks and
161 canoes and prohibited overnight mooring.

162 Mr. Holt stated his understanding is that the Agreement grants the POA the right to go
163 across that 10' section and the linear front footage used for the dock would not allow any
164 additional docks.

165 Mr. Robinson expressed concern and stated his belief that, based on a 2018 community
166 survey, residents do not support the dock project. He discussed Lake Powell's environmental
167 system and ecosystem and Florida Department of Environmental Protection (DEP) designations.
168 He expressed concern about additional watercraft and discussed the reasons. He questioned
169 the POA staff's ability to operate or maintain a marina.

170 Mr. Holt stated the vote only pertains to an easement for another dock that was passed
171 by the POA; permitting is in progress and the only vote is for an easement and to ensure that no
172 other docks are installed.

173 Mr. Dean believed Mr. Robinson's statement about the survey is inaccurate.

174 Ms. Mallory stated the area in question is not a marina. No vessels will be taken in or
175 out; there will only be boat slips. No fuel would be transferred at the location, as it is prohibited
176 by the POA and the Lease Agreement. The Agreement was carefully drafted and is structured to
177 allow the POA to take action and remove vessels in an emergency. She believed the permitting
178 authorities will take the concerns into consideration during the permitting process.

179 Discussion ensued regarding potential conflict of interest for Board Members with
180 docks. Mr. Burke discussed the standard for a conflict of interest for voting purposes and stated
181 it pertains to whether the vote would inure to the individual's private gain or loss.

182 Ms. Mallory stated that no Boat Slip Agreements have been officially signed; therefore,
183 as of now, no Board Members have a vested interest. Cursory deposits have been taken and
184 there is a waiting list. The entire dock is for the owners and the POA; the only thing to be voted
185 on today is a 10' strip for Riparian rights for the POA to have access to water rights. The DEP will
186 determine whether what the POA has planned, which is attached as an Exhibit, will be
187 approved.

188

189 **On MOTION by Mr. Dean and seconded by Mr. Holt, with Mr. Dean, Mr. Holt**
190 **and Mr. Self in favor and Mr. Robinson and Mr. Balduf dissenting, the Riparian**
191 **Rights Easement Agreement, was approved. [Motion passed 3-2]**

192

193 **EIGHTH ORDER OF BUSINESS****Continued Discussion: Engagement of Firm
for Debris Removal Monitoring and Filing
FEMA Requests for Reimbursements**194
195
196

197 Ms. Cerbone presented the Rostan proposal. She noted that engaging a firm for
198 monitoring is necessary to facilitate reimbursement from the Federal Emergency Management
199 Agency (FEMA). She has worked with Rostan in other CDDs and is very familiar with them.

200

201 **On MOTION by Mr. Balduf and seconded by Mr. Self, with all in favor,**
202 **engagement of Rostan for Debris Removal, Monitoring and Filing FEMA**
203 **Requests for Reimbursements, was approved.**

204

205

206 **NINTH ORDER OF BUSINESS****Acceptance of Unaudited Financial
Statements as of April 30, 2022**

207

208

209 Ms. Cerbone presented the Unaudited Financial Statements as of April 30, 2022.

210

211 **On MOTION by Mr. Balduf and seconded by Mr. Dean, with all in favor, the**
212 **Unaudited Financial Statements as of April 30, 2022, were accepted.**

213

214

215 **The meeting recessed at 4:35 p.m. and reconvened at 4:45 p.m.**

- 216 **▪ Consideration of Resolution 2022-05, Approving a Proposed Budget for Fiscal Year**
217 **2022/2023 and Setting a Public Hearing Thereon Pursuant to Florida Law; Addressing**
218 **Transmittal, Posting and Publication Requirements; Addressing Severability; and**
219 **Providing an Effective Date *(to be provided under separate cover)***

220 **This item, previously the Twelfth Order of Business, was presented out of order.**

221 Ms. Cerbone reviewed the proposed Fiscal Year 2023 budget highlighting line item
222 increases, decreases and adjustments, compared to the Fiscal Year 2023 budget, and explained
223 the reasons for any adjustments.

224 Ms. Cerbone noted that the Property Manager asked the CDD for some signage and
225 painting updates but those maintenance items do fall under the purview of the CDD. Based on a
226 Supervisor's request, a line item was previously included for "Signage" and, if desired, a line
227 item could be added for painting.

228 Discussion ensued regarding road striping. The consensus was to add a \$40,000
229 “Miscellaneous painting/projects” line item

230 In response to a question, Ms. Cerbone stated the soonest the CDD can refinance bonds
231 is in calendar year 2023, as there is a 10-year call provision.

232 Piggybacking the road striping with the POA was discussed. Ms. Cerbone will email the
233 POA about this matter.

234 Mr. Dean felt that the grass on Wild Heron Way is unsightly. Conversation ensued about
235 transitioning to different types of grasses, having a Landscape Architect evaluate the
236 community and irrigation on Wild Heron Way.

237 **Mr. Burke left the meeting at 5:05 p.m.**

238 Ms. Cerbone stated Mr. Dean recommended adding \$50,000 for sod and irrigation on
239 Wild Heron Way. As over \$500,000 is available in Unassigned Funds, the Board could create a
240 line item and utilize Unassigned Funds or assess for this expense. The consensus was to utilize
241 Unassigned Funds and develop a plan with the POA. Mr. Dean thought that February might be a
242 good time to begin the landscaping projects.

243 Regarding Page 3, Ms. Cerbone noted that \$50,000 was still budgeted for “Boat house
244 drop downs” and this work is subject to the construction schedule. A Board Member advised
245 that this expense should be moved to Fiscal Year 2023, based on the schedule and on ordering
246 processes. Ms. Cerbone stated, based on the amounts added to the proposed Fiscal Year 2023
247 budget, the assessment amounts must be updated accordingly. She will work with the POA and
248 the Finance Team and, with approval assessments will be adjusted accordingly.

249 Ms. Cerbone presented Resolution 2022-05.

250

251 **On MOTION by Mr. Robinson and seconded by Mr. Holt, with all in favor,**
252 **Resolution 2022-05, Approving a Proposed Budget for Fiscal Year 2022/2023,**
253 **amended as discussed, and Setting a Public Hearing Thereon Pursuant to**
254 **Florida Law for August 1, 2022 at 3:00 p.m., Central Time, at the Boat House,**
255 **1110 Prospect Promenade, Panama City Beach, Florida 32413; Addressing**
256 **Transmittal, Posting and Publication Requirements; Addressing Severability;**
257 **and Providing an Effective Date, was adopted.**

258

259

260 TENTH ORDER OF BUSINESS

Approval of May 2, 2022 Regular Meeting
Minutes

261

262

263 Ms. Cerbone presented the May 2, 2022 Regular Meeting Minutes.

264

265 **On MOTION by Mr. Robinson and seconded by Mr. Dean, with all in favor, the**
266 **May 2, 2022 Regular Meeting Minutes, as presented, were approved.**

267

268

269 ELEVENTH ORDER OF BUSINESS

Staff Reports

270

271 **A. Ecologist/Operations: Cypress Environmental of Bay County, LLC**

272 There was no report.

273 **B. District Counsel: Burke Blue**

274 There was no report.

275 **C. District Engineer: McNeil Carroll Engineering, Inc.**

276 There was no report.

277 **D. District Manager: Wrathell, Hunt and Associates, LLC**

278 Ms. Cerbone reported the following:

279 ➤ The POA requested painting, as referenced in the email circulated to the Board.

280 ➤ A concern was raised by the POA regarding scheduling and management of prescribed
281 burns. Ms. Womack emailed Ms. Cerbone and Ms. Sanchez advising that she is aware that the
282 Fire Department was called about one or two areas and Ms. Womack was on site as well. In her
283 opinion the on-site representative did all the right things and there were no structures in
284 danger of damage. She is not aware of any areas in need of a prescribed burn that are not
285 already being planned. Ms. Cerbone or Ms. Womack should be emailed if there is a specific
286 area that needs to be serviced.

287 **I. 440 Registered Voters in District as of April 15, 2022**288 **II. NEXT MEETING DATE: August 1, 2022 at 3:00 P.M. (Central Time)**289 **○ QUORUM CHECK**

290 The next Regular meeting would be held on August 1, 2022.

291

292 **TWELFTH ORDER OF BUSINESS** **Consideration of Resolution 2022-05,**
293 **Approving a Proposed Budget for Fiscal**
294 **Year 2022/2023 and Setting a Public**
295 **Hearing Thereon Pursuant to Florida Law;**
296 **Addressing Transmittal, Posting and**
297 **Publication Requirements; Addressing**
298 **Severability; and Providing an Effective**
299 **Date (to be provided under separate cover)**
300

301 This item was presented following the Ninth Order of Business.
302

303 **THIRTEENTH ORDER OF BUSINESS** **Board Member Comments**
304

305 A Board Member referenced previous discussions about overgrown conditions on CDD
306 property. Ms. Cerbone stated she believed it was addressed. Mr. Holt stated the homeowner
307 advised that the back part was cleaned out, as approved by the Architectural Review Board
308 (ARB) and the Golf Course, and, as he was currently satisfied, no further work was planned.
309

310 **FOURTEENTH ORDER OF BUSINESS** **Public Comment**
311

312 Regarding easement access on Wild Heron Way, Ms. Mallory stated she does not
313 believe the CDD means to grant unfettered access. She encouraged the CDD to work with the
314 District Engineer on how that will affect traffic flow.

315 Regarding Mr. Balduf's statement that the POA should do better due diligence next
316 time, Ms. Mallory stated the POA did its due diligence and this was a unique situation; the POA
317 acted on information that might have been inaccurate but, even so, the POA determined it
318 would proceed with the project.

319 Ms. Mallory stated the POA refers to prescribed burns in the CDD as part of the Firewise
320 program and asked if that is correct. Ms. Cerbone replied affirmatively. Ms. Mallory stated Ms.
321 Womack was contracted by the POA to perform Firewise activities on the vacant lots. Breaking
322 Ground has been the primary contractor who addresses the undercover and another contractor
323 addresses fallen trees. The area with the best Firewise clearing results is the area on Los Ninos
324 Circle. Her understanding is that area was not a prescribed burn; rather, it might have been

325 caused by a cigarette. She discussed Ms. Womack's Firewise work and suggested the CDD
326 engage Ms. Womack to address CDD property.

327 Discussion ensued regarding the property, encouraging the property be part of the
328 Firewise program and letters to be sent to the property owner.

329 Mr. Dean stated he addressed the issue with the property owner.

330 The District Manager was not directed to contact the property owner at this time.

331 Ms. Womack would be asked to report on the Firewise program at the next meeting.

332 Discussion ensued regarding the Firewise programs.

333 Mr. Dean stated that some action will be taken.

334

335 **FIFTEENTH ORDER OF BUSINESS**

Action Item Recap

336

337 Ms. Cerbone recapped the following:

338 ➤ Ms. Womack will give an update on pond aerators during her August report.

339 ➤ Ms. Cerbone will work with Ms. Mallory and the Director of Finance to verify the
340 assessments for the purchased property.

341 ➤ Ms. Cerbone will update the budget, adding \$40,000 for restriping, along with budgeting
342 for other items and moving \$50,000 for Boat House dropdowns.

343 ➤ Ms. Womack will confirm that the CDD is managing all areas it can manage. Anyone that
344 wants an exception to any area should email the location information and pictures to Ms.
345 Womack, Ms. Cerbone and Ms. Sanchez.

346 ➤ Ms. Womack will provide a Firewise update at the next meeting regarding any areas
347 that should be included in the Firewise program.

348

349 **SIXTEENTH ORDER OF BUSINESS**

Adjournment

350

351

352 **On MOTION by Mr. Dean and seconded by Mr. Holt, with all in favor, the**
353 **meeting recessed at 5:35 p.m., Central Time, and was continued to June 13,**
354 **2022 at 11:30 a.m., Central Time.**

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[SIGNATURES APPEAR ON THE FOLLOWING PAGE]

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364 _____
Secretary/Assistant Secretary

_____ Chair/Vice Chair

**LAKE POWELL
RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT**

9B

DRAFT

**MINUTES OF MEETING
LAKE POWELL RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT**

The Board of Supervisors of the Lake Powell Residential Golf Community Development District held a Continued Regular Meeting on June 13, 2022, at 11:30 a.m., Central Time, at the Boat House, 1110 Prospect Promenade, Panama City Beach, Florida 32413.

Present and constituting a quorum were:

David Dean	Chair
Thomas Balduf	Vice Chair
David Holt	Assistant Secretary
Jerry Robinson	Assistant Secretary

Also present were:

Jamie Sanchez (via telephone)	District Manager
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FIRST ORDER OF BUSINESS

Call to Order/Roll Call

Ms. Sanchez called the meeting to order at 11:30 a.m., Central Time, and stated that the meeting is a continuation of the June 6, 2022 meeting.

Supervisors Dean, Holt, Robinson and Balduf were present, in person. Supervisor Self was not present.

SECOND ORDER OF BUSINESS

Public Comment

There were no public comments.

THIRD ORDER OF BUSINESS

**Consideration of Cost Proposals for
Drainage Enhancements on Marsh Rabbit
Run and Turtleback Court**

Ms. Sanchez stated that the proposals have yet to be obtained.

38 **FOURTH ORDER OF BUSINESS**

NEXT MEETING DATE: August 1, 2022 at 3:00 P.M. (Central Time)

39

40

41 ○ **QUORUM CHECK**

42 The next Regular meeting would be held on June 21, 2022.

43

44 **FIFTH ORDER OF BUSINESS**

Board Member Comments

45

46 Mr. Dean stated he would like to continue today’s meeting to next week, as waiting
47 until August 1st is too long to make a decision on the proposals.

48 Ms. Sanchez stated today’s meeting would be continued to June 21, 2022; she
49 previously conferred with each Supervisor to ensure that date works for them.

50

51 **SIXTH ORDER OF BUSINESS**

Public Comments

52

53 There were no public comments.

54

55 **SEVENTH ORDER OF BUSINESS**

Adjournment

56

57 There being nothing further to discuss, the meeting recessed and was continued to
58 Tuesday, June 21, 2022 at 11:30 a.m., Central Time.

59

60 **On MOTION by Mr. Dean and seconded by Mr. Holt, with all in favor, the**
61 **meeting recessed at 11:32 a.m., Central Time, and was continued to Tuesday,**
62 **June 21, 2022 at 11:30 a.m., Central Time.**

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[SIGNATURES APPEAR ON THE FOLLOWING PAGE]

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Secretary/Assistant Secretary

Chair/Vice Chair

**LAKE POWELL
RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT**

9C

DRAFT

**MINUTES OF MEETING
LAKE POWELL RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT**

The Board of Supervisors of the Lake Powell Residential Golf Community Development District held a Continued Regular Meeting on June 21, 2022, at 11:30 a.m., Central Time, at the Boat House, 1110 Prospect Promenade, Panama City Beach, Florida 32413.

Present and constituting a quorum were:

David Dean	Chair
Thomas Balduf	Vice Chair
David Holt	Assistant Secretary
Jerry Robinson	Assistant Secretary
Frank Self	Assistant Secretary

Also present were:

Jamie Sanchez (via telephone)	District Manager
Bethany Womack	Ecologist/District Operations Manager

FIRST ORDER OF BUSINESS

Call to Order/Roll Call

Ms. Sanchez called the meeting to order at 11:37 a.m., Central Time. All Supervisors were present, in person.

SECOND ORDER OF BUSINESS

Public Comment

There were no public comments.

THIRD ORDER OF BUSINESS

**Consideration of Cost Proposals for
Drainage Enhancements on Marsh Rabbit
Run and Turtleback Court**

Ms. Womack reported the following:

➤ Turtleback Court, as noted on the agenda letter and on the proposals, should be Turtleback Trail.

39 ➤ She prepared a summary sheet of the Turtleback Trail and Marsh Rabbit Run proposals
40 and attached it to the front of the revised agenda that was previously transmitted to the Board.

41 ➤ The Summary Sheet breaks down the proposals received from CBC Construction, Break
42 N Ground and Mainline Construction, the proposed costs for each of the two projects and a
43 combined project ranking.

44 ➤ Those companies ranked first, second and third in relation to price, as follows

45 #1 CBC Construction

46 #2 Break N Ground

47 #3 Mainline Construction

48 ➤ All three are more than capable of completing the work proposed.

49 ➤ The decision as to which company to engage rests on the Board.

50 Referencing area plans, the Board and Staff discussed the Marsh Rabbit Run project,
51 potential remedies to the drainage issues, re-grading the swales, excavations, sod
52 replacement, pond elevation, conservation area, culverts, pavers, integrity of the lot, as-builts
53 and funding sources.

54

55 **On MOTION by Mr. Balduf and seconded by Mr. Dean, with all in favor, the CBC**
56 **Construction proposal for the Marsh Rabbit Run project, in the amount of**
57 **\$41,280.15, was approved.**

58

59

60 Referencing area plans, the Board and Staff discussed the Turtleback Trail project,
61 potential remedies to the drainage issues, extending the pipe, possible impacts to the golf
62 course, the funding source and forthcoming construction on Marsh Point Lane.

63 Mr. Dean stated that possible remedies to the flooding on Mayflower, Sweetwater and
64 Wild Heron Way should be included as a discussion item on the August agenda.

65

66 **On MOTION by Mr. Dean and seconded by Mr. Holt, with all in favor, the CBC**
67 **Construction proposal for the Turtleback Trail project, in the amount of**
68 **\$33,126.80, was approved.**

69

70

71 **FOURTH ORDER OF BUSINESS**

**NEXT MEETING DATE: August 1, 2022 at
3:00 P.M. (Central Time)**

72

73 ○ **QUORUM CHECK**

74 The next meeting would be held on August 1, 2022.

75

76 **FIFTH ORDER OF BUSINESS**

Board Member Comments

77

78 There were no Board Member comments.

79

80 **SIXTH ORDER OF BUSINESS**

Public Comments

81

82 There were no public comments.

83

84 **SEVENTH ORDER OF BUSINESS**

Adjournment

85

86 There being nothing further to discuss, the meeting adjourned.

87

88 **On MOTION by Mr. Robinson and seconded by Mr. Dean, with all in favor, the**
89 **meeting adjourned at 12:11 p.m., Central Time.**

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[SIGNATURES APPEAR ON THE FOLLOWING PAGE]

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100 _____
101 Secretary/Assistant Secretary

Chair/Vice Chair

**LAKE POWELL
RESIDENTIAL GOLF
COMMUNITY DEVELOPMENT DISTRICT**

10DII

LAKE POWELL RESIDENTIAL GOLF COMMUNITY DEVELOPMENT DISTRICT

BOARD OF SUPERVISORS FISCAL YEAR 2022/2023 MEETING SCHEDULE

LOCATION

Boat House, 1110 Prospect Promenade, Panama City Beach, Florida 32413

DATE	POTENTIAL DISCUSSION/FOCUS	TIME
October 3, 2022	Regular Meeting	3:00 PM (Central Time)
December 5, 2022	Regular Meeting	3:00 PM (Central Time)
February 6, 2023	Regular Meeting	3:00 PM (Central Time)
March 6, 2023	Regular Meeting	3:00 PM (Central Time)
April 3, 2023	Regular Meeting	3:00 PM (Central Time)
May 1, 2023	Regular Meeting	3:00 PM (Central Time)
June 5, 2023	Regular Meeting	3:00 PM (Central Time)
August 7, 2023	Public Hearing and Regular Meeting	3:00 PM (Central Time)